



KU-RING-GAI LOCAL PLANNING PANEL MEETING TO BE HELD ON MONDAY, 20 OCTOBER 2025 AT 11:00 AM BY ZOOM CONFERENCING

**This meeting will be live streamed – click on the link below at 12:30pm
on 20 October 2025 to watch the live stream.**

**The item will be determined and published on Council's website after 48 hours of
the closing of the Determination meeting.**

<https://www.krg.nsw.gov.au/Council/Council-meetings/Ku-ring-gai-Local-Planning-Panel-KLPP-meetings/Ku-ring-gai-Local-Planning-Panel-meetings-live-stream>

Public meetings will be webcast and members of the public can watch and listen to public meetings live via Ku-ring-gai Council's website. If you are an owner, applicant, architect or submitter to the Development Application you may register to speak. Please see our register to speak page.

IMPORTANT

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A G E N D A

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NOTE: For Full Details, See Council's Website –
www.krg.nsw.gov.au under the link to business papers

APOLOGIES

DECLARATIONS OF INTEREST

GENERAL BUSINESS

- | | | |
|------|---|----------|
| GB.1 | Demolition of existing buildings and construction of a residential flat building with basement carparking and associated works | 3 |
|------|---|----------|

File: EDA0254/25

Demolition of existing buildings and construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021.

RECOMMENDATION

PURSUANT TO SECTION 4.16(1) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

THAT the Ku-ring-gai Local Planning Panel exercising the functions of Ku-ring-gai Council, as the consent authority, pursuant to Section 4.16 of the Environment Planning and Assessment Act 1979, refuse development consent to eDA0254/25 for demolition of existing buildings the construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021 on land at 18 and 20 Roseville Avenue Roseville, for the reasons provided in the Development Assessment Report (**Attachment A1**).

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DEVELOPMENT APPLICATION

SUMMARY SHEET

REPORT TITLE:	DEMOLITION OF EXISTING BUILDINGS AND CONSTRUCTION OF A RESIDENTIAL FLAT BUILDING WITH BASEMENT CARPARKING AND ASSOCIATED WORKS
ITEM/AGENDA NO:	GB.1

APPLICATION NO:	eDA0254/25
ADDRESS:	18 and 20 Roseville Avenue Roseville
WARD:	Roseville
DESCRIPTION OF PROPOSAL:	Demolition of existing buildings and construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021.
APPLICANT:	Roseville 888 Pty. Ltd.
OWNERS:	No. 18: Chia Lin Wu and Chuan-Hwa Hsu No. 20: Harry Chapman and Joanne Chapman
DATE LODGED:	29 May 2025
SUBMISSIONS:	174 submissions
ASSESSMENT OFFICER:	Brent Pearce
RECOMMENDATION:	Refusal

KLPP REFERRAL CRITERION:	Residential Flat Building (Transit Oriented Development SEPP Housing), more than 10 unique submissions.
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PURPOSE OF REPORT

To determine Development Application No. eDA0254/25 for demolition of existing buildings and construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021 at 18-20 Roseville Avenue, Roseville.

This application is reported to the Ku-ring-gai Local Planning Panel in accordance with the Minister's Section 9.1 Local Planning Panels Direction, as it is considered a sensitive development to which SEPP Housing (2021) Chapter 2 'Affordable Housing', Chapter 4 'Design of Residential Apartment Development' and Chapter 5 'Transport Oriented Development' apply,

AND

This application is reported to the Ku-ring-gai Local Planning Panel in accordance with the Minister's Section 9.1 Local Planning Panels Direction as it is contentious development that has attracted 10 or more unique submissions by way of objection.

The Development Application is recommended for refusal.

RECOMMENDATION

PURSUANT TO SECTION 4.16(1) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

THAT the Ku-ring-gai Local Planning Panel exercising the functions of Ku-ring-gai Council, as the consent authority, pursuant to Section 4.16 of the Environment Planning and Assessment Act 1979, refuse development consent to eDA0254/25 for demolition of existing buildings the construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021 on land at 18 and 20 Roseville Avenue Roseville, for the reasons provided in the Development Assessment Report (**Attachment A1**).

Brent Pearce
Executive Assessment Officer

Selwyn Segall
Team Leader - Development Assessment

Shaun Garland
Manager Development Assessment Services

Michael Miocic
Director Development & Regulation

Attachments:	A1	Development Assessment Report	2025/309340
	A2	Location Sketch and Constraints Map	2025/313445
	A3	Zoning Sketch	2025/313447
	A4	Architectural Plans	2025/335431
	A5	Landcape Plans	2025/335406
	A6	Engineering Plans	2025/158836

Item GB.1

EDA0254/25

A7	↓	Design Verification Statement	2025/335415
A8	↓	Statement of Environmental Effects	2025/158817
A9		Submitters	<i>Confidential</i>

DEVELOPMENT APPLICATION

ASSESSMENT REPORT

REPORT TITLE	Demolition of existing buildings and construction of a residential flat building with basement carparking and associated works
APPLICATION NO	eDA0254/25
PROPERTY DETAILS	18 Roseville Avenue, Roseville Lot 3 DP 1046734 20 Roseville Avenue Roseville Lot 4 DP 1046734 Zoned: R2 Low Density Residential Combined site area: 2,069m ²
WARD	Roseville
PROPOSAL/PURPOSE	Demolition of existing buildings and construction of a residential flat building with basement carparking and associated works - SEPP (Housing) 2021.
TYPE OF DEVELOPMENT	Local
APPLICANT	Roseville 888 Pty. Ltd.
OWNERS	No. 18: Chia Lin Wu and Chuan-Hwa Hsu No. 20: Harry Chapman and Joanne Chapman
DATE LODGED	29 May 2025
RECOMMENDATION	Refusal

PURPOSE OF REPORT

To determine Development Application No. eDA0254/25 for 18 and 20 Roseville Avenue, Roseville.

This application is reported to the Ku-ring-gai Local Planning Panel in accordance with the Minister's Section 9.1 Local Planning Panels Direction. as it is sensitive development to which SEPP Housing (2021) Chapter 2 'Affordable Housing', Chapter 4 'Design of Residential Apartment Development' and Chapter 5 'Transit Oriented Development' apply,

AND

This application is reported to the Ku-ring-gai Local Planning Panel in accordance with the Minister's Section 9.1 Local Planning Panels Direction as it is contentious development that has attracted 10 or more unique submissions.

INTEGRATED PLANNING AND REPORTING

Places, Spaces & Infrastructure

Community Strategic Plan Long Term Objective	Delivery Program Term Achievement	Operational Plan Task
P2.1 A robust planning framework is in place to deliver quality design outcomes and maintain the identity and character of Ku-ring-gai.	Applications are assessed in accordance with state and local plans.	Assessments are of a high quality, accurate and consider all relevant legislative requirements.

EXECUTIVE SUMMARY

Issues

- Inconsistent with desired future character
- Insufficient information regarding water management
- Poor site analysis
- Excessive building bulk
- Adverse impacts on HCA and heritage items
- Poor design and location of building entries
- Lack of housing diversity, apartment mix and accessibility
- adverse solar access impacts
- Inadequate solar shading and glazing
- Poor apartment amenity
- Inadequate passive surveillance
- Inadequate communal open space
- Privacy impacts
- Excessive site coverage

- Adverse tree impacts
- Inadequate deep soil and landscape design
- Excessive excavation
- Inadequate information

Submissions 174

Land and Environment Court N/A

Recommendation Refusal

HISTORY

Site history

The site has a history of residential use.

Previous applications history

A Pre-DA consultation was not undertaken with Council.

Council's records show previous applications relating to the site that include demolition and construction of a new dwelling house, alterations to the existing dwellings and ancillary development such as swimming pools and fencing. These applications, however, have no relevance to the subject development application.

Current Development Application History

Date	Action
29/05/2025	Application lodged.
13/06/2025	The application was notified to neighbouring property owners for a period of 30 days and 174 submissions were received.
07/08/2025	Sydney Metro requested additional information.
15/08/2025	Council sent a letter to the applicant advising that the proposed development is not acceptable as it is contrary to the Ku-ring-gai Transit Oriented Development Alternate Scheme, inconsistent with the design principles outlined in Schedule 9 of SEPP (Housing) 2021, and would have adverse heritage impacts, tree impacts and traffic/parking impacts.
28/08/2025	The applicant provided additional information to Sydney Metro.
23/09/2025	Sydney Metro refused to provide concurrence and requested additional information.

THE SITE

Figure 1: Aerial view of the subject site marked in red (source: Geocortex 2025)

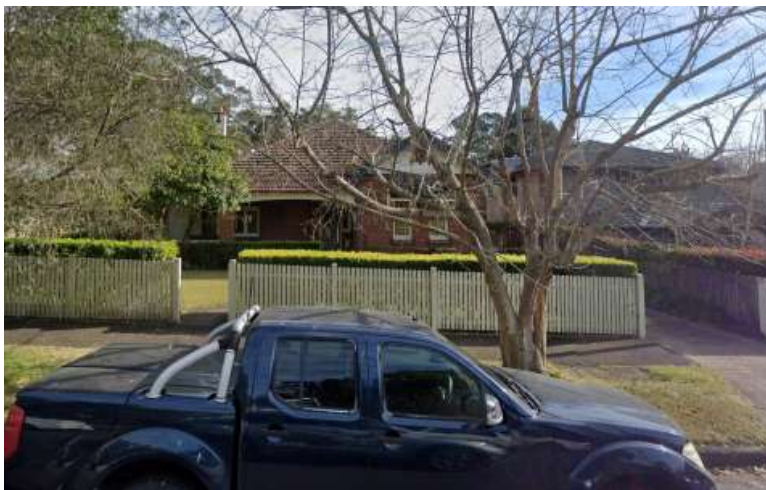


Figure 2: Street view of No. 18 Roseville Ave (source: Google 2024)



Figure 3: Street view of No. 20 Roseville Ave (source: Google 2024)



Figure 4: Street view, corner of Roseville Ave and Trafalgar Ave, Roseville



Figure 5: Street view of No. 20 Roseville Ave as seen from Trafalgar Ave (source: Google 2024)



Figure 6: Street view of boundary between No. 18 and No. 20 (source: Google 2024)

Site description

The site comprises two properties, Nos 18 and 20 Roseville Avenue, Roseville, and are legally described as Lots 3 and 4 in DP 1046734, respectively. The proposed development seeks to amalgamate the two sites, after which the site would have a total area of 2,073m², with a principal frontage of 40.23 metres to Roseville Avenue on the southern boundary and a secondary frontage of 51.99 metres to Trafalgar Avenue along the western boundary.

No. 18 Roseville Avenue contains a single storey and highly intact federation style dwelling house, with established gardens and canopy trees. No. 20 Roseville Avenue contains a more contemporary two-storey dwelling house, with established gardens and canopy trees. The site is located within the Clanville Heritage Conservation Area.

Constraint:	Application:
Visual character study category	1920-1945
Easements/rights of way	No
Heritage Item - Local	No
Heritage Item - State	No
Heritage conservation area	Yes, C32 'Clanville HCA'
Within 100m of a heritage item	Yes, No. 16 and No. 20 Roseville Avenue
Bush fire prone land	No
Natural Resources Biodiversity	Yes, Core biodiversity.
Natural Resources Greenweb	Yes, Landscape remnant.
Natural Resources Riparian	No
Within 25m of Urban Bushland	No
Contaminated land	No
Flood affected	Yes, partially within 1% annual exceedance probability & probable maximum flood storm events.

Surrounding development

The surrounding development consists of dwelling houses within a garden setting. The scale of neighbouring dwellings is consistent with a low-density residential neighbourhood in so far as all properties within the vicinity are generally two storeys dwelling houses. The adjoining property at No. 16 Roseville Avenue is a locally listed heritage item, identified as Item No.114 in KLEP 2015.

THE PROPOSAL

The application proposes demolition of the existing dwelling houses and construction of a residential flat building, including excavation for basement parking, as follows:

- i. Demolition of the existing dwelling houses at Nos 18 and 20 Roseville Avenue.
- ii. Excavation to develop a two-level basement, comprising 45 car parking spaces to a maximum depth of 4.6 metres, with vehicular entrance via Trafalgar Avenue.
- iii. Construction of a 8 storey residential flat building comprising 41 units, the apartment mix of which is:
 - 3 x 1-bedroom units,
 - 21 x 2-bedroom units,
 - 17 x 3-bedroom units,
 - The above includes 6 affordable housing units being Unit Nos 0.01, 0.02, 1.06, 1.07, 2.06 and 2.07
- iv. Tree removal, including the removal of T3 *Nyssa sylvatica* (Tupelo) in the north-eastern corner of the site.

CONSULTATION

Community

In accordance with Appendix 1 of the Ku-ring-gai Community Participation Plan, owners of surrounding properties were given notice of the application. In response, 174 objections were received. The names and addresses of the 174 objections are contained within attachment A6.

The submissions raised the following issues:

Unacceptable impacts to the low-density residential streetscape caused by the high-density nature of the proposal; impacts include:

- *Disproportionate bulk, scale and massing.*
- *Disruption of the existing streetscape vistas along Roseville Avenue and Trafalgar Avenue.*
- *Domination of the skyline and outlook from adjoining properties.*
- *Failure to respond to the desired future character of Ku-ring-gai as expressed in the Ku-ring-gai Council Transit Oriented Development Alternate Scheme.*
- *Failure to achieve the provisions in schedule 9 of the SEPP Housing 2021 (specifically provisions 1, 2, 3, 5, 6, 8 and 9).*

The impacts summarised above and as outlined in the submissions are concurred with and form part of the recommended reasons for refusal.

Unacceptable impacts to the Clanville Heritage Conservation Area, local heritage item at No. 16 Roseville Avenue and contributory item at No. 18 Roseville Avenue; impacts include:

- *The demolition of a highly intact contributory item at No. 18 Roseville Avenue and failure to demonstrate consideration of the Helou principles (Helou v Strathfield Municipal Council [2006] NSWLEC 66) in response to its demolition.*
- *Inconsistent with the character and style of the Clanville heritage conservation area. This includes the proposed scale, height, footprint, form, massing, and grain of the building, which are all considered to be inappropriate within this heritage context.*
- *Inadequate setbacks from No. 16 Roseville Avenue.*

The impacts summarised above and as outlined in the submissions are concurred with and form part of the recommended reasons for refusal.

Unacceptable landscape outcomes; impacts include:

- *Tree removal.*
- *Inability to provide high quality landscape outcomes that are consistent with the garden character and that are sufficient to screen the proposed development from the streetscape.*
- *Dominating retaining walls and failure to respond to the topography of the subject and surrounding sites.*

The impacts summarised above and as outlined in the submissions are concurred with and

form part of the recommended reasons for refusal.

Unacceptable traffic impacts; including:

- ***Insufficient on-site parking.***
- ***Poor amenity outcomes associated with increased traffic movements (congestion, poor air quality, acoustic impacts).***
- ***Inadequate on-site parking.***

The impacts summarised above and as outlined in the submissions are concurred with and form part of the recommended reasons for refusal.

Loss of residential amenity; impacts include:

- ***Overshadowing to neighbouring properties.***
- ***Overlooking of neighbouring private open space and into adjoining living rooms.***
- ***Increased traffic movements.***

The impacts summarised above and as outlined in the submissions are concurred with and form part of the recommended reasons for refusal.

Insufficient information to obtain concurrence from Sydney Metro

This is correct and forms one of the recommended reasons for refusal.

Internal Referrals

Building

Council's Senior Building Inspector raised no objection to the proposal on BCA grounds.

Conditions provided by Council's Senior Building Inspector would be included if the application were recommended for approval.

Environmental Health

Council's Senior Environmental Health Officer raised no objection to the proposal on environmental health grounds.

Conditions provided by Council's Environmental Health Officer would be included if the application were recommended for approval.

Ecology

Council's Ecological Assessment Officer raised no objection to the proposal on ecological grounds.

Landscaping

Council's Landscape and Tree Assessment Officer commented on the proposal as follows:

Tree impacts

The proposal results in unacceptable impacts on trees contrary to Part 3 of the Apartment Design Guide (ADG), Parts 7A.6 and 13 of the Ku ring gai Development Control Plan (KDCP), and AS4970-2009 – Protection of trees on development sites. Amended architectural, landscape and stormwater plans are required to address the following unacceptable impacts on existing trees:

T3 – Nyssa sylvatica (Tupelo)

- i. The removal of T3 is not acceptable.
- ii. T3 is a significant landscape feature, particularly contributing to the Trafalgar Avenue streetscape and holds visual and contextual significance within the Heritage Conservation Area.
- iii. The arborist's rating of T3, as having a medium priority for retention is not supported, as it fails to account for the tree's good health, excellent condition, and its high landscape and heritage significance.
- iv. For the above reasons, Tree 3 should be regarded as a material site constraint, necessitating a redesign of the development layout to accommodate its retention.
- v. To support the long-term preservation of T3, it is recommended that the driveway be relocated to achieve a minimum setback of 6 metres from the tree's trunk.

T19 – Fagus sylvatica (Copper Beech)

- i. The proposed dwelling and access ramp works will result in an 18% encroachment into the tree protection zone (TPZ) in accordance with the Australian Standard AS4970-2009, of T19 and within the structural root zone (SRZ), which is a major encroachment under the standard.
- ii. Given the proposed finished level of the access ramp adjacent to the north-eastern boundary, it appears that excavation is required within the SRZ. Subsequently, these works have the potential to destabilise and impact the long-term viability of the tree.
- iii. To enable a full assessment of the impacts of the works on T19 non-destructive root mapping along the south-western side of the proposed access ramp within the designated SRZ is to be submitted.

Landscape design

The landscape proposal fails to satisfy the relevant objectives and controls under Part 4 of the ADG, and Parts 7A.1, 7A.6 and 21.2 of the KDCP, as detailed below:

- i. Detail 3, Sheet 2 of the landscape plans lacks detail in relation to the proposed depths of the podium planter beds in accordance with Objective 4P, Part 4 of the ADG.
- ii. Insufficient canopy trees within the south-western side setback to satisfy Part 7A.1 of the KDCP. At least 3 x fastigiate form canopy trees are to be planted within the south-western side setback.
- iii. An additional 4 trees that will attain a mature height of 18 metres are required to satisfy Control 7, Part 7A.6 of the KDCP. To achieve compliance with this part, it is recommended that the 2 x *Waterhousia floribunda* (Weeping Lilly Pilly) and the 2 x *Ulmus parvifolia* be replaced to meet this requirement.
- iv. There is insufficient medium and small shrubs within the garden bed adjacent to the north-western boundary to satisfy Control 8, Part 7A.6 of the KDCP.

- v. *The plant species of some of the proposed planting in the south-western side setback have not been indicated on Sheet 3 of the landscape plans.*

It is agreed that the proposal will have unacceptable tree impacts for the reasons given above.

Urban design

Council's Urban Design consultant commented on the proposal as follows:

Urban design issues summary:

1. Significant increase in density and height proposed
2. Non-compliant front setbacks
3. Non-compliant height with regards to building storeys (KLEP and KDCP)
4. Streetscape interface brought about by 4 metres level difference between ground floor residential and existing footpaths / street
5. Inaccessibility and limited use of front street landscapes
6. Communal open space amenity and accessibility issues
7. Provision of only one lift
8. Provision of only one fire stair (potentially)
9. Non-compliance with key ADG objectives 3C, 3D, 3F and 3J.4

Design Principle 1:

The site is surrounded by detached dwellings of Federation and Californian bungalow types. Heritage items are within close proximity located at Nos 12,16 and 22 Roseville Avenue. The Statement of Environmental Effects (SEE) claims that the proposed development is contiguous with the existing streetscape. This argument has no sound and rational basis. The proposed building is 6 times the height of the neighbouring heritage buildings and unlike these buildings it will not have pitched roofs. The Roseville Avenue elevation (DA-A-200) shows the adjacent heritage listed dwelling at 16 Roseville Avenue in outline only and omits to show the adjacent heritage listed dwelling at 22 Roseville Avenue. Given how important the streetscape is as a key feature of the site and its environs, the two adjacent properties should be drawn accurately on the street elevation. The datum lines from adjoining heritage buildings and any other referenced points of connection (as described in the SEE) should be illustrated as well.

The ground floor (Level 0) is 4+ metres above the footpath on both street frontages. This delivers a very poor outcome that is completely at odds with the existing streetscape. The façade at entry on Trafalgar Avenue has no positive relationship with the street at all. The whole frontage at street level consists of carpark entry, solid walls to the basement level bulk waste, fire pump switch rooms and fire exits. The same issues exist on the equally important Roseville Avenue elevation. This is in marked contrast to the relationship one gets between the entry porches of adjacent dwellings and the street in terms of both visual connectivity (being able to see people more or less at eye level from within a house to the street) and physical connectivity. The ground floor of these adjacent heritage-listed houses are approximately 0.5 metres above street level.

Design Principle 2:

Drawing Sections note "Sydney Metro Stratum – Below RL 85" So the building can't be lowered without some difficulty. Drawing DA-A-202 shows a height of 3.3 metres for the first C1 level of carparking. The traffic report states that provision needs to be made for 2.6 metres waste service vehicle. It is unclear why the additional 0.7 metres in height is

needed. Given the divergence between ground and street noted above this carpark height should be reduced to the absolute minimum. If the additional height required for waste service vehicles can be accommodated in the immediate front area adjacent to the entry then further options for reducing the ceiling height for the rest of this parking level should be explored. This might allow the ground floor to be located even closer to the street corner. There may be an argument to say the setbacks could be broken in some areas for a portion getting closer to the street or boundary but then setting back even more in other areas. But the development should generally acknowledge the required setbacks on both street frontages.

The entry foyer technically complies with 7C.5 Building Entries of the KDCP but it only achieves this by effectively creating a 2-storey lobby. To comply with the ADG, the foyer is located on the carpark level adjacent storage, bins and parking (no residential). The primary communal open space (COS) is on the upper of these 2 levels adjacent COS.

Design Principle 3:

The SEPP TOD is forcing a significant increase in density on the site. It would be 7.5 times greater than the permissible density. This cannot be deemed to be a density that is anywhere near appropriate to the site and context. There is no way that density increase of this magnitude can be deemed to comply with this principle.

The proposal provides 45 off-street car parking spaces across two levels which falls short of the requirements of 54 spaces required under the ADG. Also noted is a shortfall 1 off-street space under provision Part 3J of the ADG. This is accepted given the site is located within a highly accessible area, being 200 metres walking distance of the railway station and buses along the Pacific Highway. The Sydney Metro Stratum under the site also has an impact on the depth of permissible excavation and therefore on how much basement parking can foreseeably be provided. It should however be noted that available street parking is currently very limited and an increase in density of the magnitude proposed will exacerbate this.

Design Principle 4:

The passive environmental design initiatives which are listed in Page 28 of the SEE are all accepted, supported and commended. The provision of induction cooktops and electric heat-pump hot water is noted and supported.

Design Principle 6:

The provision of a covered communal outdoor area is supported but its location on the south-facing side of the building and (10+metres) distance from the associated uncovered COS does not provide sufficient amenity. The lack of direct sun will diminish its use especially in winter. The only COS with access to sunlight is a long relatively thin space adjacent a solid blank wall to the carpark. It is not easily accessible from the covered communal area nor the lift core.

The primary COS is south-facing and covered. It is questionable as to whether even 50% receives 2hrs sunlight on 21 June. Compliance with 3D of the ADG does not appear to have been achieved.

If densities are to increase in the LGA under the SEPP TOD, it is even more important that the amenity of communal and private open space of developments such as this one, be of the highest quality and not be compromised in any way. The scheme provides only one lift to service 41 units over 8 storeys. This will contribute to potentially long waiting

times especially when the lift is required for removals and deliveries. Lifts often break down and/or require servicing and when this happens the majority of the building, for many residents especially on the upper floors, will be inaccessible for long periods.

Design Principle 7:

See comments and recommendations provided above in Principle 1. To meet compliance with the building code of Australia, under the NCA, it is likely that an 8 storey RFB would be required to have multiple exits for safety. The provision of only one fire stair would be inadequate.

Design Principle 8:

A diversity of apartment types and sizes is provided.

Design Principle 9:

As noted in the SEE, and shown on the architectural set of drawings, the material palette of the proposed references the local context of brick, terracotta and timber but in a contemporary manner. This is accepted and supported. A high quality and mix of materials are proposed in a thoughtful architectural composition.

It is agreed that the proposal outlines numerous non-compliances with the ADG and Design Principles and that the proposed development is unacceptable for these reasons.

Heritage

Council's Heritage consultant commented on the proposal, as follows:

Controls

The following relevant objectives and controls apply under the KDCP:

Development Controls	Complies
19A.1. Subdivision and site consolidation for new development within an HCA	
1 Applications for subdivision and site consolidation within an HCA is discouraged and will only be considered if the application:	NO
i) will have no adverse effect the significance of the HCA.	
ii) retains the typical block width characteristics and historic subdivision pattern of the area, including rear lanes.	
iii) the setting and curtilage of Heritage Items or significant buildings in the vicinity, including important structures and landscape elements are retained.	
iv) vistas and views to and from Heritage Items and contributory buildings, especially the principal elevations of buildings, are not interrupted or obscured.	
v) the landscape quality of the streetscape is retained.	
vi) the contours and any natural features of the site have been retained and respected.	
vii) will not result in future development which will adversely affect the significance, character or appearance of the HCA	
2 Subdivision or consolidation will not generally be permitted where the setting or curtilage of any Heritage Items and contributory buildings within or adjoining the site, would be compromised	NO
3 Applications for subdivision and site consolidation within an HCA will require a curtilage assessment	NO

An assessment of the variations to the controls identified in the compliance table is provided below.

19A Subdivision and site consolidation

Objectives:

- I. To retain the historic subdivision patterns within HCAs, that reflect the age and circumstances of the early and later subdivisions including the characteristic rhythm and built form spacing.
- II. To ensure that new development respects the established streetscape, and the historical patterns of development.
- III. To ensure new subdivisions and lot consolidations do not have an adverse impact upon the curtilage of Heritage Items, the streetscape setting of significant buildings and the identified character of the HCA as a whole

For the following reasons, it is considered that the objectives and controls are not achieved:

- The proposal will involve site consolidation in contravention of the historic subdivision pattern and the extant subdivision pattern that forms the foundation of the layout, pattern, and grain of the

conservation area.

- Amalgamation of the lots is unacceptable.

19B Demolition

Controls

The following relevant objectives and controls apply under the KDCP:

Development Controls	Complies
19B.1 Demolition within HCAs	
1 Consent is required for demolishing a building relic or tree in an HCA.	Noted
2 The demolition of Heritage Items and contributory buildings within HCAs is not supported	NO
3 Whole demolition of buildings, structures and landscape features (including significant trees) is generally not supported unless shown to be neutral or uncharacteristic and the applicant can satisfactorily demonstrate:	NO
i) demolition will not result in any adverse impacts on the streetscape or character of the HCA; ii) retention and stabilisation of the building or structure is unreasonable; iii) all alternatives to demolition have been considered with reasons provided why the alternatives are not acceptable; iv) the replacement building is compatible with the identified significance and character of the streetscape and the HCA as a whole.	
Archival Recordings	
5 In a situation where demolition is approved, Council may require an archival and photographic record of the building and grounds (in accordance with the NSW Heritage Branch guidelines) before and during works.	YES

An assessment of the variations to the controls identified in the compliance table is provided below.

Objectives

- I. To ensure that sites, buildings and landscape features that contribute to the significance of an HCA are retained
- II. To ensure that Heritage Items and all significant elements of Heritage Items are retained and conserved

For the following reasons, it is considered that the objectives and controls are not achieved:

- The proposal involves wholesale demolition of a contributory building to the heritage conservation area at No.18 Roseville Avenue. Moreover, there has been no assessment against the Helou principles to justify the demolition. This aspect of the proposal is unacceptable from a heritage perspective and forms grounds for refusal.

19D Development within HCA's; New buildings

Controls

The following relevant objectives and controls apply under the KDCP:

Development Controls	Complies
19D.1 Local Character and Streetscape	
Built Form	
1 Scale and massing of any new buildings is to be integrated into the established character of the HCA and respect the scale, form and character of adjacent or nearby development. They are to incorporate design elements such as the roof forms, façade and parapet heights, door, window and verandah proportions of contributory buildings in the HCA, particularly neighbouring buildings from the same key development period.	NO
2 The design and character of any new buildings are to be informed by the: i) date and style of contributory buildings. ii) scale and form of contributory buildings. iii) street and subdivision patterns of the HCA. iv) setbacks of neighbouring contributory buildings. v) materials, building techniques and details used in the HCA; and vi) views, vistas and skylines in the HCA.	NO
3 Façades are to be modulated to break down the scale of new development.	NO
4 The height of new buildings is not to be higher than contributory buildings.	NO
5 New roofs visible from the street are reflect the size, shape, pitch, eaves and ridge heights, and bulk of contributory buildings and roofs. They are to respect the complexity and patterns of predominant roof shapes and skylines of the HCA	NO
6 New buildings may be contemporary in design, however, their scale, form and detail is not to detract from the scale, form, unity, cohesion and predominant character of streetscape elements around it.	NO
7 Where a HCA is characterised by single-storey dwellings, single storey development on infill sites is preferred. New two-storey houses will only be permitted where the upper floor is designed within the roof and where the new building is in keeping with the height, mass and proportions of contributory buildings in the vicinity.	NO

An assessment of the variations to the controls identified in the compliance table is provided below.

19D.1 Local Character and StreetscapeBuilt FormObjectives

- I. To promote high-quality new design that complements the streetscape character and heritage significance of the HCA.
- II. To ensure that new development retains the identified historic and aesthetic

character of the HCA in which it is situated

For the following reasons, the objectives and controls are not achieved:

1. *The proposed new development is entirely unacceptable in terms of its scale. It does not respond to the height of any of the surrounding development within the conservation area nor the heritage items.*
2. *The residential flat building is concentrated into two allotments, which are intended for amalgamation and the resulting height and form will dwarf adjoining development.*
3. *The proposal has no regard for the design and character of the existing heritage items and contributory buildings with which it will interface.*
4. *The proposal is not compatible with nor even cognisant of the adjacent heritage items or nearby contributory buildings, nor the development within the wider conservation area.*
5. *The precinct is characterised by detached dwellings, that appear as single storey and, in some cases, have concealed upper storeys or rooms-in-the-roof. The proposed residential flat building is markedly different in terms of its form, scale and presentation within the conservation area.*
6. *The overall adverse impacts are exacerbated by the building's dual presentation to both Roseville and Trafalgar Avenue, which means the development will be highly visible from numerous angles.*

Development Control	Complies
19D.2 Building setbacks	
Location and Setback of New Buildings	
1 The siting of new buildings is to be consistent with the established pattern of built elements in the HCA, including the main dwellings, garages, carports and garden structures	NO
2 Where there is a uniform building setback from streets, new buildings are to respect the established pattern and not be located forward of adjacent buildings. Where variations in setback exist, the larger setback will apply. Side setbacks are to be consistent with historic patterns.	NO
3 New buildings are not to be orientated across sites contrary to the established alignment pattern	NO
4 The location of new buildings is to ensure that significant views to and from places within the HCA are retained	NO

19D.2 Building setbacks

Location and Setback of New Buildings

Objectives

- I. *To ensure the location and siting of new development respects the established pattern of built elements in the streetscape and the HCA.*
- II. *To ensure new development does not adversely impact on the immediate streetscape or significant views within the HCA.*

For the following reasons, it is considered that the objectives and controls are not achieved:

1. *Though not shown in detail, it appears that the proposed development is considerably further forward than the existing heritage item at No.16 Roseville*

Avenue. It is not clear how much further forward than the adjacent building at No. 22 Roseville Avenue that the proposed residential flat building is located. The siting of the building forward of two heritage items and likely contributory buildings in the wider context will exacerbate the appearance of the proposed development.

2. It is not clear where the primary pedestrian entrance to the building will appear if constructed.
3. The site amalgamation makes the issue of setbacks a moot point because the construction of a large building straddling two sites negates any regard for or purpose of building setbacks.

Development Control	Complies
19D.3 Gardens and Landscaping	
1 New, traditionally designed gardens that enhance the historic and aesthetic character of the streetscape and the HCA as a whole are encouraged.	NO
2 New gardens should be horticulturally and stylistically sympathetic to the period of the HCA. The use of similar materials such as sandstone, brick and gravel is encouraged.	NO
3 The use of a variety of plant species to avoid mono-cultural plantings along street frontages and as screen planting is encouraged	NO
4 High solid hedges that screen the dwelling from the street are not permitted.	YES

An assessment of the variations to the controls identified in the compliance table is provided below.

19D.3 Gardens and Landscaping

Objectives

- I. To preserve the garden and landscape character of the HCA.
- II. To promote new front fences and gates that are consistent with the existing character of the streetscape.
- III. To promote fences that do not detract from surrounding development.
- IV. To promote visual permeability between properties and the public domain.
- V. To ensure that vehicular access gates are open and transparent, allowing sightlines to prop

For the following reasons, it is considered that the objectives and controls are not achieved:

1. Within the information proposed, it is not clear that the proposed gardens will be horticulturally suitable to the conservation area. However, some trees are being removed as part of the proposal. Reference is made to the comments of Council's Landscape Assessment officer.

Development Control	Complies
19D.4 Building Design	
1 Materials and details used for new buildings are to be similar to, or compatible with, the original buildings in the HCA	YES
2 Development applications are to provide a material board and details of the colour scheme and finishes.	YES
3 Contemporary materials are permitted where the detailing, proportions, texture and colour range blend with the existing character of the HCA	YES
4 New buildings are to incorporate architectural language such as massing, proportions, detailing, coursing lines, materials and finishes, which are sympathetic to and complement the predominant character of the HCA	NO
5 Colour schemes are not to detract from colour schemes in the streetscape and not to be in visual contrast with the colours of the contributory buildings in the HCA. Recessive colours and traditional materials are preferred.	YES

An assessment of the variations to the controls identified in the compliance table is provided below.

19D.4 Building Design

Objectives

To ensure new development respects the character of, and minimises the visual impact upon, the HCA and its streetscapes

For the following reasons, it is considered that the objectives and controls are not achieved:

1. The proposal incorporates the use of face brick, which is positive from a heritage perspective.
2. The windows are likely aluminium for BASIX as they are not detailed, and this would be inconsistent with the conservation area.
3. The massing, proportions and detailing of the proposed residential flat building has no regard for the adjacent heritage items and conservation area, which are small scale, detached single dwelling residences.

19F Development in the vicinity of heritage items or heritage conservation areas

Controls

The following relevant objectives and controls apply for KDCP:

Development Control	Complies
DEVELOPMENT IN THE VICINITY OF HERITAGE ITEMS OR HERITAGE CONSERVATION AREAS (HCAS)	
19F.1 Local Character and Streetscape	
General	YES
1 All development in the vicinity of a Heritage Item or HCA is to include a Heritage Impact Statement.	
2 Development on sites that either directly adjoin or are in the vicinity of a Heritage Item or an HCA is to have regard to: i) the form of the existing building or buildings including height, roofline, setbacks and building alignment; ii) dominant architectural language such as horizontal lines and vertical segmentation; iii) proportions including door and window openings, bays, floor-to ceiling heights and coursing levels; iv) materials and colours; v) siting and orientation; vi) setting and context; vii) streetscape patterns.	NO

19F.1 Local Character and Streetscape

Objectives

- I. To consider the impact on the historic curtilage and setting of the Heritage Item or HCA and related heritage features such as views, streetscape context, historical subdivisions, garden settings, alienated trees and other landscape features.
- II. To retain the significance of Heritage Items or HCAs in their settings.
- III. To ensure that the scale of new development does not dominate, detract from or compete with Heritage Items or HCAs in the vicinity.
- IV. To ensure that new development respects and conserves the significance of any nearby Heritage Items or HCA and their settings.
- V. To ensure that new development does not visually dominate the adjoining or nearby Heritage Item or HCA.
- VI. To ensure that the scale of new development in the vicinity of the HCA is in harmony with the streetscape and does not dominate, detract from or compete with the Heritage Item or HCA.

For the following reasons, it is considered that the objectives and controls are not achieved:

1. The proposal is flawed from a heritage perspective for several reasons, including the inappropriate site amalgamation, demolition of the extant dwellings especially the contributory dwelling at No. 18 and because of the nature of the replacement building.
2. The proposed residential flat building will be visually dominant, overwhelming, and overbearing, dwarfing the adjacent heritage items and the wider conservation area.
3. The proposed scale and siting of the new building footprint does not relate to surrounding development and contributes to the resulting adverse heritage impacts.
4. The design of the building at street level is flawed and does not respond

to the fine grain context.

Development Control	Complies
Views	
4 New development in the vicinity of a Heritage Item or HCA is to demonstrate that it will not reduce or impair important views to and from the Heritage Item from the public domain.	NO

Objective

To protect significant views and vistas to and from the Heritage Item or HCA.

For the following reasons, it is considered that the objective and controls are not achieved:

1. The proposed residential flat building would be in the setting of two heritage items and within a heritage conservation area. The views to, from and of these items and this area will be adversely and permanently changed because of the removal of the existing buildings coupled with the construction of the proposed residential flat building. These changes will irreversibly alter the conservation area and the longevity of the heritage items, especially No. 16 Roseville Avenue.

Development Control	Complies
19F.2 Building Setbacks	
Setbacks	
1 The front setback of development adjacent to a Heritage Item or buildings within an HCA is to be greater than that of the Heritage Item or building within the HCA. Where variations in setbacks exist, the larger setback will apply	NO
Residential Context	
2 All medium and high density development is to have a stepped facade to any common boundary with a Heritage Item or building within the HCA. The facade is to be stepped back above an 8 metres height from natural ground level as per Figure 19F.2-1. Facades greater than 8 metres high will not be permitted adjacent to a Heritage Item or building with an HCA.	NO
3 In addition to the side and rear setback controls in Section A of the KDCP, new development adjacent to a Heritage Item or building within an HCA, is to comply with the following: i) adjacent development is to have a minimum 12 metres building separation to the Heritage Item (more if setback requirements are not met within the 12 metres) as per Figure 19E.3.1 ii) adjacent development is to not exceed a facade height of 8 metres from existing ground level, including balustrades. iii) adjacent development with a building mass above 8 metres high from existing ground level is to be stepped back an additional 6 metres from the Heritage Item as per Figure 19E.3.1. Where variations in setbacks exist, the larger setback will apply.	NO

19F.2 Building Setbacks

Objectives

To ensure new work in the vicinity of a Heritage Item or HCA respects and contributes to the established streetscape patterns through careful siting of new

buildings:

- I. To ensure new development provides an interface of scale and bulk to preserve the amenity to the adjacent Heritage Item or building within a HCA
- II. To ensure new development provides an interface of scale and bulk to preserve the amenity to the adjacent Heritage Item or building within a HCA

For the following reasons, the objectives and controls are not achieved:

1. The proposed setbacks are inappropriate and insufficient to mitigate any impacts of the proposed residential flat building on the adjacent heritage items, contributory buildings and collectively, the wider heritage conservation area.
2. The proposed building makes a small gesture between the sixth and seventh level to step away from the heritage item at No. 16 Roseville Avenue. However, this is entirely tokenistic and does nothing to reduce the impacts on the adjoining heritage item.
3. The assessment of building setbacks in some sense is flawed once sites are amalgamated.

Development Control	Complies
19F.3 Gardens and Landscaping	
Gardens, Setting and Curtilage	
1 Development in the vicinity of a Heritage Item or an HCA is to:	NO
i) retain original or significant landscape features associated with the Heritage Item or HCA, or which contribute to its setting	
ii) retain the established landscape character of the Heritage Item or HCA.	
iii) include appropriate screen planting on side and rear boundaries.	

Objective

To ensure that new development does not impact on the landscape character and garden setting of any nearby Heritage Item or HCA

For the following reasons, the objectives and controls are not achieved:

1. The proposal will remove the appearance of two dwellings within a garden setting and replace these with a large building that is likely to restrict the future growth of mature trees.

Development Control	Complies
19F.4 Fencing	
New Front Fences	
5 Replacement of unsympathetic fences, gates and walls with new elements of appropriate height, style and materials is encouraged.	NO
6 Where historic records and physical evidence exists, new front fencing is to reinstate the original	NO
7 Where no evidence is available to guide reconstruction of missing fences and gates to contributory properties, new front fencing, pedestrian and vehicular access gates are to match the architectural style of the house, the period of construction and the character of the immediate streetscape.	NO
8. No metal panel fencing is to be constructed on any boundary within an HCA.	N/A
9. New vehicular access gates must promote views to all properties, especially to battle-axe allotments with reduced visual permeability	N/A
10. Swing gates are preferred to sliding gates. Sliding gates may only be acceptable where the driveway is sloping upward from the street.	NO
11. Sloping driveways to basement parking is not acceptable except if the gradient down begins behind the front building line and is less visible from the street.	NO

Objectives

- I. To retain early and original fences, gates and retaining walls where they survive, and where they reinforce the original landscape character of the garden and streetscape.
- II. To retain those streetscapes where front and side fencing do not form part of the original streetscape
- III. To encourage the reinstatement of the original form of fencing and gates, where known.
- IV. To encourage new front fences and gates which contribute to the streetscape character of the HCA by being consistent with the established pattern of existing original fences.'

For the following reasons, the objectives and controls are not achieved:

1. There is a lack of clarity in relation to the proposed fencing. However, solid sandstone walls, which are notated in the drawings, are not considered acceptable within the conservation area.
2. The extensive garage door presents to the streetscape rather than any sort of concealing fencing.

Conclusion and recommendation

The proposed proposal will have irreversible adverse impact on the heritage conservation area and adjacent heritage items and is not acceptable on heritage grounds.

It is agreed that the proposal will have a significant adverse impact upon the Clanville HCA and nearby heritage items.

Development and Traffic Engineers

Council's Development and Traffic Engineers commented on the proposal as follows:

Summary

The proposed development has been assessed and is not acceptable for the following reasons:

Traffic and parking assessment

- 1. The total proposed residential parking provision falls short of the requirements of the TOD SEPP by 1 car parking space.*
- 2. There is no on-site visitor car parking provided. At least 7 visitor car parking spaces are required.*
- 3. Compliance with the 2 metres x 2.5 metres sight triangle at the access point as required by AS2890.1 has not been demonstrated.*
- 4. The access driveway gradient from the property boundary into the site needs clarification.*
- 5. At least 1 visitor car parking space is to be designed as accessible in accordance with Australian Standard AS2890.6.*
- 6. One visitor parking bay is to be provided with a tap, to make provision for on-site car washing.*
- 7. The lifts, lobbies and accessways of Level 0, Level C1 and Level C2 should be of a suitable size such that residents can transport their bicycles between their bicycle storage areas and ground/street level.*
- 8. The visitor bicycle parking must be relocated to street level and on-site, just outside the main entry lobby.*
- 9. EV readiness is to be provided for all car parking spaces within the development. A notation shall be provided on the architectural basement plans.*
- 10. An on-site loading area is required but not provided. The on-site loading area must not prevent access to and from the basement level car park, with at least one travel lane to be maintained at all times while loading/unloading takes place on the driveway. At least one on-site loading space which is at least 3.5 metres wide is to be provided to cater for a minimum 6.7 metres long service vehicle. The loading space/s should be line marked and/or signposted as a designated loading area.*

Construction management

- 1. An indicative construction traffic management plan (CTMP) has not been provided.*

Water management

1. Clarification is sought for the reason as to why the size of 300 millimetres diameter pipe connection into Council's existing pit is shown. No details of the existing utility services have been shown/overlapped on the stormwater management plans to demonstrate that this pipe can connect into Council's existing pit including the proposed discharge volume and flow rate etc.

Waste management

1. A Waste Management Plan has not been provided.
2. Swept paths were not submitted demonstrating that Council's Waste Collection Vehicle (6.7 metres Mitsubishi Canter) can enter and depart the garbage/room recycle storage area in a forward direction.
3. Waste garbage room did not indicate the required number of bins for waste, paper and recycling, as required by Part 25 of the KDCP.

It is agreed that insufficient information and non-compliances are unacceptable and form a number of the recommended reasons for refusal.

STATUTORY PROVISIONS

State Environmental Planning Policy (Resilience and Hazards) 2021 - Chapter 4 Remediation of land

The provisions of Chapter 4 require Council to consider the potential for a site to be contaminated. The subject site has a history of residential use and as such, it is unlikely to contain any contamination and further investigation is not warranted in this case.

State Environmental Planning Policy (Sustainable Buildings) 2022 – Chapter 2 Standards for residential development – BASIX

A valid BASIX certificate has been submitted and the proposal is consistent with commitments identified in the certificate. As per the requirements of Clause 2.1(5) the consent authority is satisfied that the application includes information in which the embodied emissions attributable to the development have been quantified.

State Environmental Planning Policy (Transport and Infrastructure) 2021 – Division 15 Railways

Transport for NSW (TfNSW) has delegated its rail authority functions in relation to the Sydney Metro North West Line rail corridors to Sydney Metro. Therefore, Sydney Metro is the relevant rail authority for the North West Line rail corridor for the purpose of the T&ISEPP.

The application involves the penetration of ground to a depth of at least 2 metres below ground level (existing) on land:

- a) within or above a rail corridor, or
- b) within 25 metres (measured horizontally) of a rail corridor. or
- c) within 25 metres (measured horizontally) of the ground directly above an underground rail corridor.

On 07/08/2025 Sydney Metro requested additional information from the applicant. The applicant responded to this request on 28/08/2025.

On 23/09/2025 Sydney Metro requested additional information from the applicant.

To date, Sydney Metro has not granted and is unlikely to grant its concurrence as required by Subsection (3) of Section 2.99 of the T&I SEPP. Therefore, development consent cannot be granted.

State Environmental Planning Policy Housing 2021 (SEPP Housing)

SEPP Housing contains several principles including the promotion of the planning and delivery of housing in locations where it will make good use of existing and planned infrastructure and services. The subject application seeks development consent for a residential building on land that is zoned R2 low Density Residential (relevant residential zone). The site is located within the Transport Oriented Development Area of Ku-ring-gai. The subject application also seeks to provide in-fill affordable housing in accordance with Chapter 5 of SEPP Housing. On 13 June 2025 the Department of Planning, Housing and Infrastructure turned off the State Environmental Planning Policy (Housing) Chapter 5 Transport Oriented Development 2021 (Housing SEPP) for new development applications in Ku-ring-gai. On 19 June, DPHI published updated maps under [Ku-ring-gai Local Environmental Plan \(Housing\) \(Map Amendment No 1\).\(PDF, 704KB\)](#). These maps identify the locations where local and state-significant development applications have been saved (effectively savings provisions) under the Housing SEPP. The SEPP (Housing) provisions have been preserved for this site under the savings provisions because the development application was lodged on the 13 May 2025.

Notwithstanding the above, an alternate proposal to the Transport Oriented Development (TOD) was developed by Council to preserve the area's valued heritage and environmental assets but also achieving the goal of the TOD provisions, to achieve this outcome, the alternate proposal provides different building heights, floor space ratios and zoning boundaries. This followed detailed planning and community consultation and the Ku-ring-gai TOD Alternate Scheme was adopted by Council which is now being considered by the Department of Planning, Housing and Infrastructure. Initially, the State Government's Housing SEPP defined precincts roughly within a 400 metres radius of each station. Under the TOD Alternate Scheme, Council chose to expand that radius to approximately 800 metres in certain directions, and conversely to contract or exclude some areas within the 400 metres perimeter if they were unsuitable for high density development. Boundary decisions were influenced by environmental, heritage, and feasibility considerations and sought to achieve a balanced and gradual transition of height and densities across the four centres. The new boundaries follow roads where possible to provide a clear delineation between lands included and excluded from the TOD Alternate Scheme.

Under the TOD Alternate Scheme, the subject site would be subject to the following development standards that differ from the current standards under the Housing SEPP:

- i. R2 Low density Residential Zone (as existing),
- ii. Maximum building height of 9.5 metres (as existing),
- iii. Maximum floor space ratio of 0.3:1 (as existing)

Whilst the subject site occupies the western boundary of the TOD Alternate Scheme it is still centrally located within the R2 low density residential zone and the 9.5 metre height limit. The intent within the TOD Alternate Scheme is for low density forms of residential development to be provided within this part of Roseville. The development of a residential flat building, whilst permissible on the site, is contrary to the objectives of the R2 Low Density Zone and will result in an isolated residential flat building that detracts from the high-quality characteristics of the low density residential neighbourhood, which particularly disrupts the fabric of the Clanville Heritage Conservation Area.



Figure 6: Extract of Transport Oriented Development Sites Map as referenced in Chapter 5 of the SEPP (Housing) 2021. Blue hatching representative of the 'saved' TOD sites within the vicinity, colours representative of land use zoning, the subject site is within the red circle

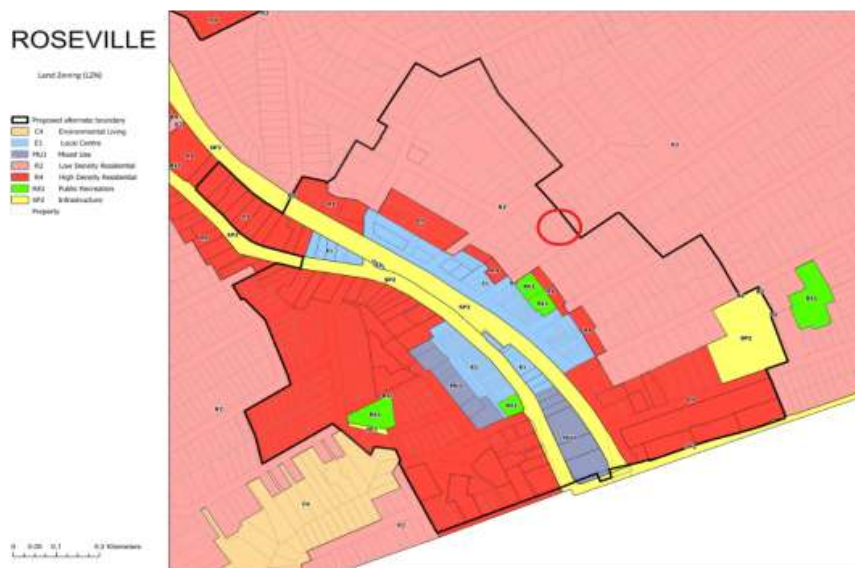


Figure 7: Ku-ring-gai Council TOD Alternate Scheme sites and boundary. Colours representative of Council's preferred land use zoning, black line representative of Council's preferred TOD boundary, the subject site is within the red circle



Figure 8: Ku-ring-gai Council TOD Alternate Scheme sites and TOD boundary. Colours representative of Council's preferred building height, black line representative of Council's TOD Alternate Scheme boundary, the subject site is within the red circle

The relevant sections of Chapters 2, 4 and 5 of SEPP Housing are considered below -

Chapter 2 – Affordable housing

The subject application involves residential development in the form of a residential flat building. A residential flat building is permitted on this site under Chapter 5 of SEPP Housing. The proposed affordable housing component that is in addition to the mandatory 2% component required under Section 156 (2)(a) of Chapter 5 of SEPP Housing is 10.64%. The proposal satisfies Section 15C of SEPP Housing.

The affordable housing requirements for additional floor space ratio and building height as well as the non-discretionary development standards are contained in the table below:

Development standard	Proposed	Complies
Section 16 (1) - Affordable housing requirements for additional floor space ratio. Maximum permissible floor space 2.5:1 plus additional 30% (based on minimum affordable housing component) Maximum GFA permitted: 2.5:1 + 30% = 3.25:1	Proposed GFA = 4,696m² 594m² / 12.64% as affordable Proposed FSR = 2.27:1	YES
S 16 (3) – Maximum permissible building height	Proposed = 26.61 metres	YES

Maximum permissible building height for RFB 22 metres plus same % as the additional floor space permitted under (1) = 26.66 metres		
S 19 - Non-discretionary development standards—the Act, s 4.15		
Minimum site area = 450m²	Proposed = 2,069m ²	YES
Minimum landscape area, the lesser of - (i) 35m ² per dwelling, (1925m ²) or (ii) 30% of the site area, (620.7m²)	Proposed = 870m ² / 40%	YES
A deep soil zone on at least 15% of the site area, where - (i) each deep soil zone has minimum dimensions of 3m, and (ii) if practicable, at least 65% of the deep soil zone is located at the rear of the site.	Refer to ADG assessment below	YES
Living rooms and private open spaces in at least 70% of the dwellings receive at least 3 hours of direct solar access between 9am and 3pm at mid-winter	Refer to ADG assessment below	YES
Number of parking spaces for dwellings <u>used</u> for affordable housing— (ii) for each dwelling containing 2 bedrooms—at least 0.5 parking spaces, Required = 3	Capable of being allocated	YES
Number of parking spaces for dwellings <u>not</u> used for affordable housing – (i) for each dwelling containing 1 bedroom—at least 0.5 parking spaces, (ii) for each dwelling containing 2 bedrooms—at least 1 parking space, (iii) for each dwelling containing at least 3 bedrooms—at least 1.5 parking spaces,	Proposed = 41	NO

3 x 1 bedroom x 0.5 = 1.5 15 x 2 bedroom x 1 = 15 17 x 3 bedroom x 1.5 = 25.5 Required = 42 spaces		
Minimum internal area – as per ADG	Satisfactory	YES
S 20 – Design requirements The design of the residential development is compatible with – (a) the desirable elements of the character of the local area, or (b) for precincts undergoing transition—the desired future character of the precinct.	Unsatisfactory	NO
S 21 - Must be used for affordable housing for at least 15 years If providing affordable housing component under section 16, 17 or 18 and the affordable housing component will be managed by a registered community housing provider	Consultation with a community housing provider has not been evidenced.	Unclear

Chapter 4 - Design of residential flat buildings

Consideration was given to the design principles set out in Schedule 9 of SEPP Housing in the urban Design comments earlier in this report. The proposed development is inconsistent with many of the design quality principles, the specifics of which are reflected in the recommended reasons for refusal.

Apartment Design Guide

ADG COMPLIANCE TABLE	
Guideline	Complies
Objective 3A-1 Site analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context	NO
Objective 3B-1 Building types and layouts respond to the streetscape and site while optimising solar access within the development	NO

ADG COMPLIANCE TABLE		
Guideline		Complies
<i>Objective 3B-2</i> Overshadowing of neighbouring properties is minimised during mid-winter		NO
<i>Objective 3C-1</i> Transition between private and public domain is achieved without compromising safety and security		NO
<i>Objective 3C-2</i> Amenity of the public domain is retained and enhanced		NO
<i>Objective 3D-1</i> An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping		NO
Design criteria		
1. Communal open space has a minimum area equal to 25% of the site (see figure 3D.3)		YES (25.3%)
2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid-winter)		YES
<i>Objective 3D-2</i> Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting		NO
<i>Objective 3D-3</i> Communal open space is designed to maximise safety		YES
<i>Objective 3D-4</i> Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood		NO
<i>Objective 3E-1</i> Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality		NO
Design criteria		
Deep soil zones are to meet the following minimum requirements:		
Site area greater than 1,500m ² with significant existing tree cover	Minimum dimensions 6 metres	Deep soil zone (% of site area) 7% YES Proposed = 870m ² / 42%

ADG COMPLIANCE TABLE			
Guideline			Complies
Objective 3F-1 Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy			NO
Design criteria			
Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:			
Building height	Habitable rooms and balconies	Non-habitable rooms	
up to 12m (4 storeys)	6 metres	3 metres	YES
up to 25m (5-8 storeys)	9 metres	4.5 metres	NO
Objective 3F-2 Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space			NO
Objective 3G-1 Building entries and pedestrian access connects to and addresses the public domain			NO
Objective 3G-2 Access, entries and pathways are accessible and easy to identify			YES
Objective 3G-3 Large sites provide pedestrian links for access to streets and connection to destinations			NO
Objective 3H-1 Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes			YES
Design guidance			
Car park access should be integrated with the building's overall facade. Design solutions may include:			
- the materials and colour palette to minimise visibility from the street - security doors or gates at entries that minimise voids in the facade - where doors are not provided, the visible interior reflects the facade design and the building services, pipes and ducts are concealed			NO

ADG COMPLIANCE TABLE	
Guideline	Complies
<i>Objective 3J-1</i>	NO Car parking is deficient by 1 x car space
1. Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas	
Design criteria	
1. For development on sites that are within 800 metres of a railway station or light rail stop in the Sydney Metropolitan Area the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. The car parking needs for a development must be provided off street	NO
<i>Objective 3J-2</i> Parking and facilities are provided for other modes of transport	YES
<i>Objective 3J-3</i> Car park design and access is safe and secure	YES
<i>Objective 3J-4</i> Visual and environmental impacts of underground car parking are minimised	NO
<i>Objective 3J-6</i> Visual and environmental impacts of above ground enclosed car parking are minimised	NO
<i>Objective 4A-1</i> To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space	YES
Design criteria	
1 Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas	YES (75%)
2 In all other areas, living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 3 hours direct sunlight between 9 am and 3 pm at mid-winter	YES
3 A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid-winter	YES (15%)
<i>Objective 4A-2</i> Daylight access is maximised where sunlight is limited	YES

ADG COMPLIANCE TABLE		
Guideline		Complies
Objective 4A-3 Design incorporates shading and glare control, particularly for warmer months		YES
Objective 4B-1 All habitable rooms are naturally ventilated		YES
Objective 4B-2 The layout and design of single aspect apartments maximises natural ventilation		YES
Objective 4B-3 The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents		YES
Design criteria		
1	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building.	YES
2	Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	
Objective 4C-1 Ceiling height achieves sufficient natural ventilation and daylight access.		YES
Design criteria		
Measured from finished floor level to finished ceiling level, minimum ceiling heights are:		YES 2.7 metres floor to ceilings and 3.2 metres floor to floors
Minimum ceiling height for apartment and mixed use buildings		
Habitable rooms	2.7 metres	
Non-habitable	2.4 metres	
For 2 storey apartments	2.7 metres for main living area floor 2.4m for second floor, where its area does not exceed 50% of the apartment area	
Attic spaces	1.8 metres at edge of room with a 30 degree minimum ceiling slope	
If located in mixed used areas	3.3 metres for ground and first floor to promote future flexibility of use	

ADG COMPLIANCE TABLE		
Guideline		Complies
<i>Objective 4C-2</i> Ceiling height increases the sense of space in apartments and provides for well-proportioned rooms		YES
<i>Objective 4C-3</i> Ceiling heights contribute to the flexibility of building use over the life of the building		YES
<i>Objective 4D-1</i> The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity		YES
Design criteria		
Apartments are required to have the following minimum internal areas:		
Apartment type	Minimum internal area	
1 bedroom	50m ²	YES
2 bedroom	70m ²	YES
3 bedroom	90m ²	YES
<i>Objective 4D-2</i> Environmental performance of the apartment is maximised		YES
Design criteria		
1	Habitable room depths are limited to a maximum of 2.5 x the ceiling height	YES
2	In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8 metres from a window	YES
<i>Objective 4D-3</i> Apartment layouts are designed to accommodate a variety of household activities and needs		YES
Design criteria		
1	Master bedrooms have a minimum area of 10m ² and other bedrooms 9m ² (excluding wardrobe space)	YES
2	Bedrooms have a minimum dimension of 3 metres (excluding wardrobe space)	YES
3	Living rooms or combined living/dining rooms have a minimum width of: 3.6 metres for studio and 1 bedroom apartments 4 metres for 2 and 3 bedroom apartments	YES
4	The width of cross-over or cross-through apartments are at least 4 metres internally to avoid deep narrow apartment layouts	YES

ADG COMPLIANCE TABLE		
Guideline		Complies
Objective 4E-1 Apartments provide appropriately sized private open space and balconies to enhance residential amenity		YES
Design criteria		
All apartments are required to have primary balconies as follows:		YES
Dwelling type	Minimum area Minimum depth	
Studio apartments	4m ² -	
1 bedroom apartments	8m ² 2m	
2 bedroom apartments	10m ² 2m	
3+ bedroom apartments	12m ² 2.4m	
The minimum balcony depth to be counted as contributing to the balcony area is 1 metre		Balconies width 2m
For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m ² and a minimum depth of 3 metres.		
Objective 4E-2 Primary private open space and balconies are appropriately located to enhance liveability for residents		YES
Objective 4E-3 Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building		YES
Objective 4E-4 Private open space and balcony design maximises safety		YES
Objective 4F-1 Common circulation spaces achieve good amenity and properly service the number of apartments		NO
Design criteria		
1. The maximum number of apartments off a circulation core on a single level is eight		YES
2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40		
Objective 4F-2 Common circulation spaces promote safety and provide for social interaction between residents		NO
Objective 4G-1 Adequate, well designed storage is provided in each apartment		YES

ADG COMPLIANCE TABLE		
Guideline		Complies
Design criteria		
In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:		YES
Dwelling type	Storage size	
	volume	
Studio apartments	4m ³	
1 bedroom apartments	6m ³	
2 bedroom apartments	8m ³	
3+ bedroom apartments	10m ³	
At least 50% of the required storage is to be located within the apartment		
Objective 4G-2 Additional storage is conveniently located, accessible and nominated for individual apartments		YES
Objective 4H-1 Noise transfer is minimised through the siting of buildings and building layout		YES
Objective 4H-2 Noise impacts are mitigated within apartments through layout and acoustic treatments		YES
Objective 4K-1 A range of apartment types and sizes is provided to cater for different household types now and into the future		YES
Objective 4K-2 The apartment mix is distributed to suitable locations within the building		NO
Objective 4L-1 Street frontage activity is maximised where ground floor apartments are located		NO
Objective 4L-2 Design of ground floor apartments delivers amenity and safety for residents		YES
Objective 4M-1 Building facades provide visual interest along the street while respecting the character of the local area		NO
Objective 4M-2 Building functions are expressed by the façade		NO
Objective 4N-1 Roof treatments are integrated into the building design and positively respond to the street		NO

ADG COMPLIANCE TABLE	
Guideline	Complies
<i>Objective 4N-2</i> Opportunities to use roof space for residential accommodation and open space are maximised	NO
<i>Objective 4N-3</i> Roof design incorporates sustainability features	YES
<i>Objective 4O-1</i> Landscape design is viable and sustainable	NO
<i>Objective 4O-2</i> Landscape design contributes to the streetscape and amenity	NO
<i>Objective 4P-1</i> Appropriate soil profiles are provided	YES
<i>Objective 4P-2</i> Plant growth is optimised with appropriate selection and maintenance	YES
<i>Objective 4P-3</i> Planting on structures contributes to the quality and amenity of communal and public open spaces	NO
<i>Objective 4Q-1</i> Universal design features are included in apartment design to promote flexible housing for all community members	NO A single lift is not considered acceptable.
<i>Objective 4Q-2</i> A variety of apartments with adaptable designs are provided	YES
<i>Objective 4Q-3</i> Apartment layouts are flexible and accommodate a range of lifestyle needs	YES
<i>Objective 4S-2</i> Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents	YES
<i>Objective 4T-1</i> Awnings are well located and complement and integrate with the building design	YES
<i>Objective 4U-3</i> Development incorporates passive environmental design	YES

ADG COMPLIANCE TABLE	
Guideline	Complies
<i>Objective 4U-2</i> Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer.	YES
Adequate natural ventilation minimises the need for mechanical ventilation	YES
<i>Objective 4V-1</i> Potable water use is minimised	YES
<i>Objective 4V-2</i> Urban stormwater is treated on site before being discharged to receiving waters	YES
<i>Objective 4V-3</i> Flood management systems are integrated into site design	YES
<i>Objective 4W-2</i> Domestic waste is minimised by providing safe and convenient source separation and recycling	YES
<i>Objective 4X-1</i> Building design detail provides protection from weathering	YES
<i>Objective 4X-2</i> Systems and access enable ease of maintenance	YES
<i>Objective 4X-3</i> Material selection reduces ongoing maintenance costs	YES

Chapter 5 – Transport oriented development

The subject application was lodged under the provisions of Chapter 5 of SEPP Housing – Transport orientated development. The aims of this chapter are to increase housing within 400m of existing and planned public transport, deliver mid-rise residential flat buildings and shop top housing around rail and metro stations that are well designed, appropriate bulk and scale, provide amenity and liveability while also encouraging affordable housing.

The proposal is permitted with development consent pursuant to S 154 of SEPP Housing as the land is located on land zoned R2 Low Density Residential which is a relevant residential zone.

The following table considers the proposal having regard to the development standards referred to in Sections 155, 156, 157, 158, 159 and 160 of SEPP Housing:

Development standard	Proposed	Complies
S 155 - Maximum building height Residential flat building – 22 metres	Chapter 2 provides greater building height	N/A

S 155 - Maximum floor space ratio (FSR) – 2.5:1	Chapter 2 provides greater FSR	N/A
Does this or another EPI permit a greater building height or floor space ratio?	Chapter 2 of SEPP Housing	YES
S 156 – Affordable housing GFA - >2000m ² 2% of GFA to be used for affordable housing Affordable housing (AH) under another Chapter or EPI	Unclear	More information required to determine 2% AH will be provided in perpetuity
S 157 – Affordable housing parking spaces (min) (only required if s 156 applies) 1 bedroom – 0.4 parking space 2 bedroom – 0.5 parking space 3 or more bedrooms – 1 parking space	Complies	YES
S 158 – Exception to minimum lot size No minimum lot size restriction	Complies	YES
S 159 – Minimum lot width 21 metres wide at the front building line	Principle and secondary frontages are >40m	YES
S 161 - Consideration of Apartment Design Guide	Inconsistent with the ADG	NO

Local Content

The development standards referred to in the above table prevail to the extent of any inconsistency with another Environmental Planning Instrument including KLEP 2015. The following development standards under KLEP 2015 are not inconsistent with the abovementioned SEPP Housing development standards and as such they continue to apply to the assessment of the subject application:

Development standard	Proposed	Complies
CI 6.6 – Requirements for multi dwelling housing and residential flat buildings:	2,069m ²	YES
Minimum lot width and depth = 30m (if site area is greater than 1800sqm)	Principle and secondary frontages are >30m	YES
	Depth is >30m	YES

Ku-ring-gai Local Environmental Plan 2015

The proposal has been assessed against the relevant aims of the plan. The proposal is inconsistent with the aims for the reasons given within this assessment report.

Zoning and permissibility

The site is zoned R2 Low Density Residential. The proposed development is defined as a residential flat building and is permissible in the zone under the provisions of S 154 of SEPP Housing, as the land is a 'relevant residential zone'.

Zone objectives:

The objectives of this zone are:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide for housing that is compatible with the existing environmental and built character of Ku-ring-gai.*

The development is inconsistent with the objectives of the zone for the following reasons:

- A high density residential flat building is incompatible with the existing low density residential environment of the neighbourhood.
- A high density residential flat building is incompatible with the dwelling house character of the neighbourhood.

Development standards**Part 5 Miscellaneous provisions****Clause 5.10 – Heritage conservation**

The proposed development is contrary to objectives (a) and (b) in this Clause for the reasons outlined in detail by Council's Heritage Consultant. The subject site adjoins locally listed heritage item number I114 and is directly across the road from another locally listed heritage item number I695, as well as being less 100 metres from numerous other heritage items. The subject site and surrounding properties are also located within the Clanville Heritage Conservation Area. The proposed development will fail to protect and conserve the environmental heritage of Ku-ring-gai including the heritage significance of the above referenced heritage items and the Clanville heritage conservation area.

Part 6 Additional local provisions**Clause 6.1 Acid sulphate soils**

The objective of this Clause is to ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage. The land is mapped as Class 5 Acid sulfate soils. Development consent is required for works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the watertable is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land. The proposal is not subject to this clause as the works are more than 500 metres of adjacent Class 1, 2, 3 or 4 land.

Clause 6.2 Earthworks

The proposed development sits directly above the Sydney Metro tunnel and is constrained by the Sydney Metro stratum, which restricts the depth of excavation. The proposed development fails to incorporate appropriate measures to avoid, minimise or mitigate the impacts of the excavation on the Sydney Metro tunnel and existing significant trees to the point where concurrence has not been granted by the Sydney Metro Authority.

Clause 6.3 - Biodiversity protection

The proposed development is not contrary to the provisions of Clause 6.3. No concerns or issues are raised in this regard.

Clause 6.5- Stormwater and water sensitive urban design

The proposed development fails to demonstrate that the stormwater management system will avoid impacts on adjoining lands and the waterways and therefore contrary to clause 6.5(2) in the KLEP. Refer to the 'water management' section of the Engineering referral above.

Policy Provisions**Ku-ring-gai Development Control Plan****Part 1A.5 General aims of the DCP**

The proposed development has been assessed against the general aims of this DCP and is contrary in all relevant respects for the reasons given throughout this report.

Part 2: Site analysis

The submitted site analysis does not satisfy the objectives of this part of the DCP and results in an unsatisfactory proposed site layout. This is evidenced by the proposal's poor relationship with its neighbours and resultant adverse visual and amenity impacts discussed throughout this report.

Part 3: Land consolidation and subdivision

The proposed development requires the consolidation of the existing allotments. The consolidation relies on the demolition of a highly intact and valuable contributory item at No. 18 Roseville Avenue. The retention of No. 18 and its curtilage relies on the existing pattern of subdivision being maintained. In this regard, the proposal is not consistent with the objectives in this Part.

Part 7: Residential Flat Buildings

COMPLIANCE TABLE		
Development Control	Proposed	Complies
Part 7 Residential Flat Buildings		
7A.1 – Local character and streetscape		
All Residential Flat Buildings are to be designed by an architect registered with the NSW Architects Registration Board.	Complies.	YES
All residential flat buildings are to demonstrate how they provide a garden setting with buildings surrounded by landscaped gardens, including tall trees, on all sides.	A garden setting is not achieved.	NO

Design components of new development are to be based on the existing predominant and high quality characteristics of the local neighbourhood.	The design is not based on the existing high quality characteristics of the neighbourhood.	NO
The appearance of the development is to maintain the local visual character by considering the following elements: i) visibility of on-site development when viewed from the street, public reserves and adjacent properties; and ii) relationship to the scale, layout and character of the tree dominated streetscape of Ku-ring-gai.	The design is not based on the existing characteristics of the neighbourhood.	NO
The predominant and high quality characteristics of the local neighbourhood are to be identified and considered as part of the site analysis.	Inadequate site analysis.	NO
Development is to integrate with surrounding sites by: i. being of an appropriate scale retaining consistency with the surrounds when viewed from the street, public domain or adjoining development; ii. minimising overshadowing; and iii. integrating built form and soft landscaping (gardens and trees) within the tree canopy that links the public and private domain throughout Ku-ring-gai.	The design is not integrated with the surrounding sites.	NO
Colours of materials used in sites adjoining or in close proximity to bushland areas and Heritage Conservation Areas are to be in harmony with the built and natural landscape elements of the area.	Complies.	YES
7A.2 – Site layout		
The site layout is to demonstrate a clear and appropriate design strategy and arrangement of building mass in response to the Site Analysis in Part 2 Site Analysis of this DCP. Demonstration of design strategies to address opportunities and constraints based on Site Analysis are to include: i. building location and orientation on the site optimising northern aspect; relationship with neighbouring developments; building setbacks; geographical aspect; views; access etc; ii. response of building development in maintaining site characteristics within the subject site, such as topography, vegetation, significant trees, any special features, etc. iii. building separation and internal layouts of buildings that respond to (i) above and be consistent with the requirements of the DCP. iv. limited apartments with no direct sunlight.	Inappropriate site layout.	NO

A drawing and supporting written information is to demonstrate how the building and its layout has applied and responded to the site analysis required by Part 2 of the DCP.	Inadequate site analysis provided.	NO
Any building with a frontage to the street is to address that street.	Does not comply.	NO
Soft landscaping, including tall trees, is to be provided between onsite buildings, fences and courtyard walls.	Insufficient tall tree provided.	NO
Hard landscaping is to be minimised and to maximise opportunities for landscape planting	Complies.	YES
Provide a single pedestrian entry point into the development from the street. Other entries may be permitted where several buildings address the street along an extended street or where there are dual frontage sites.	Complies.	YES
Three hours of direct sunlight between 9am and 3pm on 21st June is to be maintained to the living rooms, primary private open spaces and any communal open spaces within i. existing residential flat buildings and multi-dwelling housing on adjoining lots, and ii. residential development in adjoining lower density zones.	Unreasonable overshadowing to adjoining low density dwellings.	NO
Overshadowing should not compromise the development potential of the adjoining yet to be redeveloped sites.	Not demonstrated.	NO
7A.3 – Building setbacks		
Residential flat buildings are to meet the following street setback requirements: i. 10 metres from the street boundary; ii. on corner sites and sites with multiple street frontages at 10 metres setback is to be provided on all street frontages. Note: Greater setbacks may be required where the site has significant existing trees. Residential flat buildings are to provide a 2 metres articulation zone behind the street setback, and no more than 40% of this zone (in plan) is to be occupied by the building.	Proposed: 10 metres from Roseville Ave. 6 metres from Trafalgar Avenue. Greater setback to Roseville Ave should be applied. Not achieved. Minimum setback not achieved.	YES NO NO NO NO
The building line to any street is to be parallel to the prevailing building line in the streetscape. For angled sites, a stepped façade may be appropriate.	Complies.	YES
Residential flat buildings are to meet the following side and rear setback requirements to ensure deep soil, landscaping and tall trees are accommodated to all sides of the building:	Does not comply.	NO

i) a minimum of 6 metres from the side boundary for all levels up to the fourth storey. ii) a minimum of 9 metres to the fifth storey and above.	Does not comply.	NO
Side setback areas behind the building line are not to be used for driveways or for vehicular access into the building.	Complies.	YES
Driveways are to be set back a minimum of 6 metres from the side boundary within the street setback to allow for deep soil planting.	Complies.	YES
Setbacks are to respond to the attributes identified in the site analysis, conducted as required by Section A Part 2 Site Analysis of the DCP, including consideration of the location of adjoining buildings and views of the site.	Inadequate site analysis provided.	NO
Encroachments i. Basements do not encroach into any setback areas ii. Ground floor terrace/courtyard walls minimum 8 metres to street boundary / 4 metres to rear & side boundaries / 7 metres adjacent to lower density residential zone iii. No encroachments are permitted where minimum side setbacks have not been achieved. iv. A maximum of 15% of the street setback area occupied by private terraces/courtyards	i. Does not comply. ii. Does not comply. iii. Does not comply. iv. Complies.	NO NO NO YES
7A.4 – Building Separation		
7A.5 – Site coverage		
The site coverage may be up to a maximum of 30% of the site area, provided that the deep soil landscaping requirements in Section A Part 7A.6 Deep Soil Landscaping are met.	Does not comply (44.6%).	NO
7A.6 – Deep soil landscaping		
A minimum deep soil landscaping area of 40% for a site area less than 1800m ² and 50% for a site area of 1800m ² or more.	As the site area is 2,069m ² , the Deep Soil Landscaping (DSL) requirement under the DCP is 50%, equating to 1,034.5m ² . The proposed DSL is approximately 818.12m ² , or 39.5%, which does not comply.	NO
Deep soil zones are to be configured to retain healthy and significant trees on the site and adjoining sites, where possible.	Does not comply (due to removal of Tree 3)	NO
Deep soil zones are to be configured to allow for required tree planting including tall tree	Does not comply (due to removal of Tree 3).	NO

planting and garden and screen planting at front, side and rear boundaries.		
Deep soil landscaping is to be provided in the common areas as a buffer between buildings that softens the bulk and scale of the buildings.	Complies.	YES
Driveways are not to dominate the street setback area. Deep soil landscaping areas in the street setback are to be maximised.	Complies.	YES
Lots with the following sizes are to support a minimum number of tall trees capable of attaining a mature height of at least 18 metres on shale, transitional soils and 15 metres on sandstone derived soils. i. 1200m ² or less – 1 tall tree per 400m ² or part thereof ii. 1201m ² – 1800m ² – 1 tall tree per 350m ² or part thereof iii. 1801m ² + - 1 tall tree per 300m ² or part thereof	Does not comply (4 more trees required).	NO
In addition to the tall trees, a range of medium trees, small trees and shrubs are to be selected to ensure that vegetation softens the building form and creates a garden setting. At least 50% of all tree plantings are to be locally occurring trees and spread around the site.	Complies.	YES
Trees are to be planted within all setback areas. At least 30% of the required number of tall trees are to be planted within the front setback.	Does not comply.	NO
7B – Access and parking		
7B.1 – Car parking provision		
All residential flat developments are to provide on-site car parking within basements.	Does not comply.	NO
Basement car park areas are to be consolidated under building footprints.	Complies.	YES
The use of single lane tunnels and single lane spiral ramps is not permitted. Double lane spiral ramps may be allowed where there are no other options but can only link a maximum of 2 floor levels.	Complies.	YES
The basement car park is not to project more than 1.0m above existing ground level.	Does not comply.	NO
Single lane aisles, straight ramps and tunnels max 12.0m in length.	Complies.	YES
Direct and continuous internal pedestrian access from basement car park is provided to each level of the building	Complies.	YES
Car park entry is to be integrated within the building and located behind the building line.	Complies.	YES

Car parking design is to be in accordance with requirements for Silver and Platinum Level dwellings as required in this DCP and by the <i>Livable Housing Guidelines</i> . Circulation areas, roadways and ramps are to comply with AS2890.1. Where a conflict occurs, the <i>Livable Housing Guidelines 2012</i> is to take precedence.	Does not comply.	NO
At least one visitor car space is to be accessible and be provided within the site for every 6 apartments or part thereof and is to comply with the dimensional and locational requirements of AS2890.6.	Complies.	YES
A clearly signposted parking bay for temporary parking of service and removalist vehicles is to be provided. The space is to have the following standards: i) a minimum dimension of 3.5 metres x 6 metres; ii) a minimum manoeuvring area 7 metres wide. Note: Where a separate space cannot be provided, one of the visitor spaces may be used as the service/removalist parking spaces provided it meets the dimensions stated in 13(i) and 13(ii) above.	Does not comply.	NO
One visitor parking bay is to be provided with a tap, to make provision for on-site car washing.	Complies.	YES
Parking areas are to be designed and constructed so that electric vehicle charging points can be installed.	Not demonstrated.	NO
7B.2 – Bicycle parking and support facilities provision		
Provide on-site, secure bicycle parking spaces and storage at the following rates: i) 1 bicycle parking space per 5 units or part thereof for residents within the residential car park area; and ii) 1 bicycle parking space (in the form of a bicycle rail) per 10 units for visitors in the visitor car park area.	Complies.	YES
All on-site bicycle parking spaces and storage are to be designed to AS2890.3.	Complies.	YES
7C – Building design and sustainability		
Part 7C.1 - SEPP 65 and Apartment Design Guide requirements		
All residential flat buildings are to comply with the objectives, Design Criteria and Design Guidance of the following <i>Apartment Design Guide</i> sections: 3F Visual Privacy 4A Solar and Daylight Access	Refer to the ADG compliance table.	NO

4B Natural Ventilation 4C Ceiling Heights 4D Apartment Size and Layout 4E Private Open Space and Balconies 4F Common Circulation and Spaces 4G Storage		
7C.2 – Communal open space		
At least 10% of the site area must be provided as communal open space. Each parcel of communal open space is to have a minimum dimension of 5 metres.	Complies.	YES
The Primary communal open space is to be directly accessible from the internal common circulation areas.	Complies.	YES
The Primary communal open space is to be located at or above finished ground level behind the building line. Roof top Primary communal open space may be provided where the ground level cannot meet performance requirements or is undesirable.	Complies.	YES
Secondary communal open spaces are to have a minimum dimension of 5 metres and may be provided on roof tops.	Does not comply.	NO
Access to and within the Primary communal open space is to be provided for people with a disability Part 2, Section 7 of AS1428.	Further clarification required.	NO
The location and design of the Primary communal open space is to optimise opportunities for active and passive social and recreation activities, solar access and orientation, summer shade, outlook, and maintain the privacy of residents on adjoining sites zoned differently for lower density residential development sites.	Does not comply.	NO
At least 50% of the area of the Primary communal open space and any Secondary communal open space are to receive direct sunlight for at least two hours between 9am and 3pm on 21st June.	Does not comply.	NO
The communal open space is to have surveillance from at least two onsite apartments for safety reasons.	Complies.	YES
Communal open space design is to avoid creation of concealment or entrapment areas.	Complies.	YES
Shared facilities such as barbecue facilities, shade structures, play equipment and seating, are to be provided within the Primary communal open space.	Complies.	YES
Garden maintenance storage areas, drainage and connections to water taps are to be provided with the Primary communal open	Complies.	YES

space. Secondary communal open spaces are to have adequate connections to water for maintenance purposes.		
7C.3 – Ground floor apartments		
Ground floor apartments are to be separated from noise sources such as common areas, communal open space and the public domain.	Complies.	YES
Ground and podium level apartments are to have private outdoor areas differentiated from communal areas by at least one of the following: i) a change in level; ii) walls to deflect noise; iii) planting, such as hedges and low shrubs; iv) a fence/wall to a maximum height of 1.8 metres. Any solid wall component is to be a maximum height of 1.2 metres with at least 30% transparent component above.	Complies.	YES
A gate is to be provided from each ground floor apartment private open space into common areas where practical.	Does not comply.	NO
No subterranean rooms to any part of any apartment	Complies.	YES
No ground floor apartments created as a result of excessive excavation.	Complies.	YES
No part of any wall used to accommodate any residential apartment uses, including storage areas outside the apartment, is to be in direct contact with soil or rely on any form of tanking including spaces that act as tanking.	Complies.	YES
Tanking may only be provided to basement parking levels. Where basement storage is located adjacent to external walls, they are to be separated from the tanked wall by an accessible maintenance passage.	Complies.	YES
The internal finished floor level of any part of a ground floor apartment and/or private open space is not to be more than 0.9 metres below existing ground level at the building line.	Complies.	YES
Where the internal finished floor level of a ground floor apartment and/or private open space is not more than 0.9 metres below the existing ground level at the building line, the ground level adjacent to the building is to be levelled to the finished floor level for a distance of 3 metres from the building line.	Complies.	YES
All obstructions, such as retaining walls or fences, are to be located below a 45° control plane, drawn from the finished ground level at the building line. Landscaping plants may project beyond the 45° control plane.	Does not comply.	NO
7C.4 – Apartment mix and accessibility		
Range of apartment sizes (one, two, three	Complies.	

bedroom) included within the development		YES
Mix of 1, 2 & 3 bedroom apartments located on the ground level.	2 and 3 bedrooms proposed.	YES
All apartments are to be designed to Silver Level under the Livable Housing Design Guidelines	Complies.	YES
At least 15% of the dwellings (or part thereof) are to be designed to Platinum Level under the Livable Housing Design Guidelines.	Does not comply.	NO
At least 70% of all dwellings are visitable.	Complies.	YES
7C.5 – Building entries		
The residential flat building entry is to be clearly expressed using appropriate architectural elements.	Does not comply.	NO
Buildings are to address the street by providing visible entry points with the following: i) main building entrances that are level and directly accessible from the street; or, ii) where site configuration is conducive to having a side entry, the path to the building entrance is readily visible from the street, and the building entrance is signalled with appropriate architectural elements.	Does not comply.	NO
Entry foyers are to be no more than 1 metre above ground level. Any ramped access required is to be integrated into the design of the building or landscape. Mechanical chairlifts and the like will not be accepted.	Does not comply.	NO
The building entry is to be legible and integrated with horizontal and vertical building facade architectural elements. At street level, the entry is to be articulated with awnings, porticos, recesses or projecting bays for clear identification.	Does not comply.	NO
All entry areas are to be well lit and designed to avoid any concealment or entrapment areas and avoid dog leg entry foyers. All light spill is prohibited.	Does not comply.	NO
Lifts are to be directly visible from the building entry doorway.	Does not comply.	NO
Lockable mailboxes are to be provided close to the street; and be at 90 degrees to the street and to Australia Post standards; and integrated with front fences or building entries.	Complies.	YES
Building entry paths are to be minimum 1.2 metres wide and located within the common area with a minimum dimension of 1.2 metres on either side for landscape planting. Paths are to provide extra width at building entries to allow easy passing between pedestrians and to allow effective turning.	Complies.	YES

All common circulation corridors are to be at least 1.5 metres wide, and the area outside lifts is to be at least 1.8 metres wide.	Complies.	YES
7C.6 – Building Form and Facades		
All building facades at ground level are to be designed to avoid the creation of entrapment areas.	Complies.	YES
No single wall plane is to exceed 81m ² in area.	Complies.	YES
The following are to be avoided on all building elevations: i) large flat walls; ii) undifferentiated window openings; iii) applied treatments; iv) one single predominant finish or material.	Complies.	YES
All facades are to place entries, habitable room windows, and balconies so that they maximise outlook and passive surveillance of the street and to common areas surrounding the building.	Complies.	YES
All building elements including shading devices, signage, drainage pipes awnings/colonnades and communication devices are to be coordinated and integrated into the overall facade design.	Complies.	NO
Air conditioning condensers are to be located within the basement or within the roof structure of the upper most roof. Air conditioning condensers are not to be located on: i) the building façade; ii) the top of a flat roof; iii) terraces; iv) private or communal open spaces; or v) balconies.	Insufficient information.	NO
Screening between adjacent apartments is to be integrated into the overall building design.	Complies.	YES
Notches, slots or indentations in the perimeter of the building are to be at least as wide as they are deep.	Complies.	YES
Facade elements that result in poor architectural design outcomes for internal spaces, such as snorkel windows, are not permitted.	Complies.	YES
All facades are to be designed to minimise on-going maintenance and weathering through measures such as: i) selecting appropriate robust materials/finishes; and ii) including appropriate building edge, balcony edge, sill, head and parapet detailing that demonstrates protection from prevailing weather and harsh solar aspects.	Complies.	YES
Facade Articulation		

All building facades are to be articulated with wall planes varying in depth by not less than 0.6 metres and supplemented with architectural elements.	Complies.	YES
Facade articulation is to be well composed with attractive proportions and coherent rhythms and integrated into the building form and structure. Methods of achieving articulated facades include: i) defining a base, middle and top relating to the overall proportion of the building; ii) expressing the internal building layout or structure, such as vertical bays or party walls; iii) using a variety of window types to create rhythm or express the building uses; iv) using recessed balconies and deep windows to add visual depth; v) use of eaves, louvres and sun shading devices to openings. vi) using elements that cast shadow and accentuate the appearance of depth; vii) using changes of material, texture and colour integrated with the building articulation to break down large or repetitive facades and reduce the bulk and scale of the building.	Complies.	YES
All developments are to utilise shading/glare control devices to articulate the facade and contribute to the streetscape. Design solutions can include: i) providing external horizontal shading to north-facing windows, such as eaves, overhangs, pergolas, awnings, colonnades, upper floor balconies, and/or deciduous vegetation; ii) providing vertical shading to east and west windows, such as sliding screens, adjustable louvres, blinds and/or shutters; iii) providing shading to glazed and transparent roofs; iv) integration of shading devices with solar energy collection technology.	Complies.	YES
Building Length		
The continuous length of a single building on any elevation is not to exceed 36 metres.	Complies.	YES
The length of a single building elevation facing the side or rear boundary may exceed 36 metres provided that: i) the façade is recessed in depth and width to appear as distinctive and separate building bays or wings; and	Complies.	YES

ii) the recess is retained as common area with landscaping which includes at least one medium tree (at least 8m canopy diameter at maturity).		
Balconies		
Balcony or terrace design may incorporate building elements such as pergolas, sun screens, shutters, operable walls and the like to respond to the street context, building orientation and residential amenity. The use of such building elements are not to enable the balcony or terrace to be used as a habitable room.	Complies.	YES
Balconies that run the full length of the building facade are not permitted.	Complies.	YES
Continuous transparent or translucent balustrades are not permitted to balconies or terraces.	Complies.	YES
Balconies are not to project more than 1.5 metres from the outermost wall of the building facade.	Complies.	YES
7C.8 – Top storey design and roof forms		
The top storey of a building is to be designed so that: i) the GFA of the top storey of a residential flat building does not exceed 60% of the GFA of the storey immediately below it; and ii) for the purposes of this section, the top storey applies to the building as a whole and does not apply to the top level of each part of a stepped building.	Does not comply.	NO
The top storey of a building is to be set back a minimum of 2.4 metres from the outer face of the floors below on all sides (roof projection is allowed beyond the outer face of the top storey).	Does not comply.	NO
The upper storeys of residential buildings are to be articulated with differentiated roof forms, maisonettes or mezzanine penthouses and the like.	Does not comply.	NO
Service elements are to be integrated into the overall design of the roof and not be visible from the public domain or any surrounding development. These elements include lift overruns, plant equipment, air conditioning units, chimneys, vent stacks, water storage, communication devices and signage.	Complies.	YES
Roof design is to respond to solar access and prevailing weather with the use of eaves, skillion roofs, awnings and the like with a minimum overhang of 0.6m	Complies.	YES

7C.9 – Laundry and air clothes drying facilities		
Each apartment is required to have access to external air clothes drying area, such as a screened balcony, a terrace or clothes lines within the common area.	Complies.	YES
All external air clothes drying areas are to be screened and not be visible from any public domain area.	Not demonstrated.	NO
Where clothes drying is provided within private open space within a communal open space, its area is to be additional to that required for the private open space or communal open space.	Not demonstrated.	NO
7C.10 – Fencing		
Front boundary fences and walls (to a public street) and side boundary fences within the street setback are not to be higher than: i) 0.9 metres if of closed construction (such as masonry, lapped and capped timber or brushwood fences); or ii) 1.2 metres if of open construction (such as open paling and picket fences).	Does not comply.	NO
Fences and walls are to step down and follow the natural contours of the site.	Does not comply.	NO
Hedges and shrub planting are preferred to the street frontage, but no higher than 1.2 metres along the entire front boundary, or 1.8 metres on a site fronting a busy road.	Complies.	YES
External finishes for fencing are to be robust and graffiti resistant.	Complies.	YES
7C.11 – Acoustic Privacy		
Noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, other mechanical ventilation systems and other plant are to comply with the requirements in Part 23.8 of the DCP.	Insufficient information.	NO

An assessment of the variations to the design controls identified in the above compliance table is provided below.

Part 7A.1 – Local character and streetscape

The proposal does not comply with the following development controls in Part 7A.1 of the KDCP (controls summarised):

- I. Control 2: Residential flat buildings must provide a garden setting with landscaped gardens and tall trees on all sides.
- II. Control 3: Design must reflect the predominant and high-quality characteristics of the local neighbourhood.
- III. Control 4: Development must maintain local visual character by considering visibility from public areas and respecting the tree-dominated streetscape.
- IV. Control 5: A site analysis must identify and consider neighbourhood characteristics

- as part of the design.
- V. Control 6: Development must integrate with surroundings by maintaining appropriate scale, minimising overshadowing, and incorporating soft landscaping within the tree canopy.
- VI. Control 7: Development on visually prominent sites must be high-quality, integrate with the landscape, avoid bulky forms, use site-sensitive finishes, retain vegetation, consider key views, and reduce visual impact with landscaping.
- VII. Control 8: Colours and materials near bushland or Heritage Conservation Areas must harmonise with surrounding natural and built elements.

The objectives seek to improve the design quality of residential flat buildings and ensure development contributes to Ku-ring-gai's distinctive landscaped character, with buildings set in gardens and surrounded by tall trees. They emphasise sensitivity to the built environment, landscape setting, and established local character through thoughtful integration of architectural themes, building scale, setbacks, and landscaping. Development is required to positively contribute to the public domain and shared community spaces, while maintaining the visual, scenic and environmental qualities of visually prominent sites.

The proposal fails to meet these objectives as it does not provide sufficient tall tree replenishment within the rear and side setbacks. This shortfall, combined with reduced setbacks to Trafalgar Avenue, inadequate building separation to the heritage item at No. 16 Roseville Ave, and insufficient deep soil zones, would result in a bulky development on a visually prominent corner site. The proposal is inconsistent with both the existing and desired future character of the area and fails to preserve Ku-ring-gai's distinctive garden setting and tree-dominated streetscape.

The proposal has not adequately responded to its strategic context. No information has been provided regarding the implications of SEPP Housing and/or the TOD Alternative Scheme for this site.

The proposal does not satisfy the Objectives 1, 2 and 3 of Part 7A.1 of the KDCP.

Part 7A.2 – Site layout

The proposal does not comply with the following development controls in Part 7A.2 of the KDCP (controls summarised):

- I. Control 1: Site layout must demonstrate a clear design strategy addressing opportunities and constraints from the Part 2 Site Analysis
- II. Control 2: Provide drawings and written information showing how the design responds to the Part 2 Site Analysis.
- III. Control 4: Buildings fronting a street must address that street.
- IV. Control 5: Sites with multiple frontages must address all streets and provide entry points on each frontage.
- V. Control 6: Include soft landscaping and tall trees between buildings, fences, and courtyard walls.
- VI. Control 7: Minimise hard landscaping and maximise opportunities for planting.
- VII. Control 9: Provide a single pedestrian entry from the street; additional entries may be permitted for extended or dual-frontage sites.

The objectives of these controls are to ensure site-responsive design, based on a thorough site analysis, that addresses streetscape, character, vegetation, and topography. They aim to minimise building bulk, overshadowing, and amenity impacts, provide soft landscaping, ensure clear access and pathways, integrate driveways into landscaped settings, and

achieve a high standard of amenity for both residents and neighbours.

The drawings and written details demonstrate a design strategy that fails to respond to the site constraints. In this regard, the proposal fails to respond to the topography of the site by proposing an above-ground parking arrangement. Whilst this design technically complies with the maximum building height per SEPP Housing, the protruding basement contributes excessive and unnecessary bulk and scale at street level.

This design, combined with reduced setbacks to Trafalgar Avenue, inadequate building separation, and insufficient deep soil zones, would result in a bulky development on a visually prominent site contrary to the provisions under this Part.

The proposal does not satisfy Objectives 1-3, 5, 6, 7 and 8 of Part 7A.2 of the KDCP.

Part 7A.3 – Building setbacks

The proposal does not comply with the following development controls in Part 7A.3 of the KDCP (controls summarised):

- I. Control 1: Residential flat buildings are to meet the street setback requirements and for corner sites this requires a 10 metre setback on the primary and secondary frontages.
- II. Control 5: Side and rear setbacks must allow for deep soil, landscaping, and tall trees, with 6m minimum for up to four storeys and 9m minimum for the fifth storey and above.
- III. Control 9: Setbacks must respond to site analysis, considering adjoining buildings and site views.
- IV. Control 15: Private terraces/courtyards may occupy no more than 15% of the total street setback area.

The objectives of these controls are to ensure buildings are situated within a landscaped garden setting dominated by tall trees, with effective deep soil areas on all sides to soften built form, reduce visual bulk, and maintain Ku-ring-gai's distinctive landscape character. They also aim to promote appropriate building setbacks and separation to allow for meaningful landscaping, tree planting, and screening; ensure the retention of common landscaped areas at boundaries; minimise bulk and scale impacts; maintain streetscape consistency; protect existing trees; and prevent elements from compromising the landscape setting or neighbouring amenity.

The proposed setback to Trafalgar Avenue is inadequate where its minimum is 6 metres, notably less than the required 10 metres. The breaches relate to balconies and cannot be softened through landscaping alone. This significantly reduced setback fails to adequately consider the impact of bulk and scale upon Trafalgar Avenue. This combination of insufficient area for tall tree planting, inadequate deep soil zones and limited soft landscaping results in an excessively bulky development inconsistent with Ku-ring-gai's garden character.

The proposed rear setbacks are non-compliant, due to the incorrect application of the controls in this part. Controls 9 and 10 require greater setbacks for sites that are zoned for lower density residential development. In this instance, as none of the adjoining properties are 'saved' under the Chapter 5 SEPP Housing, the required minimum side and rear setback control is 9 metres.

The side setback to the local heritage item at No. 16 Roseville Avenue fails to comply with the controls in Part 19F.2 (which prevail over Part 7A.3). These controls require setbacks

adjacent to a heritage item be a minimum of 12 metres where development is up to 8 metres high and 18 metres where it is above 8 metres high.

The proposal does not satisfy Objectives 1, 2, 4, 14, and 15 of Part 7A.3 of the KDCP.

The proposal does not satisfy Objectives 1, 2 and 3 in Part 19F.2 of the KDCP.

Part 7B.1 Car parking provision

The proposal does not comply with the following development controls in Part 7B.1 of the KDCP (controls summarised):

- I. Control 4: Basement car park is not to project more than 1.0m above existing ground level.

The proposed development is constrained in its ability to fully submerge the basement due to the Sydney Metro Tunnel Stratum. This constraint has not been adequately considered in the preliminary design phase, instead, Level C1 has been designed to dominate the corner of the site by altering existing ground levels and presenting unsympathetic bulk to the streetscape. The proposed design is wholly inadequate. The proposal does not satisfy Objectives 1, 2 and 3 in Part 7B.1 of the KDCP.

Part 7C.2 Communal open space

- I. Control 7: The location and design of the primary communal open space (COS) is to optimise opportunities for active and passive social and recreation activities, solar access and orientation, summer shade, outlook, and maintain the privacy of residents on adjoining sites zoned differently for lower density residential development sites.

The location of the principal COS is not the most suitable part of the site. With greater setbacks, the site could accommodate COS in the rear setback, this outcome has not been explored due to the setback variations outlined above. The current COS does not satisfy Objectives 1-8 of Part 7C.2 of the KDCP.

Part 7C.4 – Apartment mix and accessibility

The proposal does not comply with the following development controls in Part 7C.4 of the KDCP (controls summarised):

- I. Control 3: All units must meet Silver Level Livable Housing Design; 15% must meet Platinum Level.
- II. Control 4: Meet Livable Housing Design Guidelines and NCC accessibility requirements.

The objectives aim to increase housing diversity and choice by providing a mix of apartment sizes and types, supporting housing options for seniors, people with disabilities, and families, and promoting flexible housing that adapts to changing needs. They also ensure all developments meet Livable Housing Design Guide provisions and National Construction Code accessibility requirements, regardless of site conditions.

It is not clear if all units comply with the Silver Level standards of the LHDG. Non-compliances include the absence of required toilet circulation spaces and dimensions, such as a minimum clear width of 900 millimetres between amenities and a 1200 millimetres clear circulation space in front of toilets, exclusive of door swings. Toilets are also not consistently

positioned in room corners to allow for grab rail installation.

The proposal does not satisfy Objectives 1, 2, 3 and 4 of Part 7C.4 of the KDCP.

Part 7C.8 – Top storey design and roof forms

Control 2: The top storey must be set back at least 2.4 metres from the outer face of the floors below on all sides.

The objectives aim to ensure the top floor of buildings is designed to minimise visual bulk and overshadowing while providing a distinct visual appearance that differentiates it from the floors below. The top floor does not demonstrate compliance with the design control. This non-compliance, combined with insufficient tree planting, increases the bulky appearance of the development and results in an adverse visual impact when viewed from adjacent streets.

The proposal does not satisfy Objectives 1 and 2 of Part 7A.8 of the KDCP.

Section B

Part 19 – Heritage and conservation areas

Council's Heritage Consultant has recommended refusal for the reasons outlined in the Heritage Referral comments above.

Section C

Development Control	Proposed	Complies
Part 21 General Site Design		
21.1 – Earthworks and slope		
Development to consider site topography, drainage, soil landscapes, flora, fauna and bushfire hazard by: - Stepping buildings down the site - Locate finished ground level as close to the natural ground level as practicable - Level changes to occur primarily within building footprint - Minimum 0.6 metres width between retaining walls - Maintain existing ground level within 2 metres from any boundary - Limit slope for embankments to 1:6 (grassed) and 1:3 (soil stabilising vegetation) - No fill and excavation within sensitive environments - Minimise altered groundwater flows	Does not comply.	NO
21.2 – Landscape Design		
Appropriate and sensitive site planning and design. Existing appropriate screen planting is retained.	Inappropriate landscape design.	NO

Part 22 - General access and parking		
22.1 – Equitable Access		
Compliance with DDA demonstrated Entry access ramps located within the site and does not dominate the front façade Access ways for pedestrians and for vehicles are separated	Complies.	YES
22.2 – General vehicle access		
- Minimise width and number of vehicle access points - Access driveways set back at least 10 metres from street intersections and 3 metres from pedestrian entrances - Vehicle and pedestrian access to buildings clearly distinguished and separated at I - Vehicle crossing width is acceptable for intensity of use proposed - Vehicles must exit in a forward direction - Vehicle entries are integrated into the external façade and are finished in a high quality material - Retaining walls associated with driveways maximum height of 1.2 metres - No driveways are longer than 30 metres unless a passing bay is provided	Complies.	YES
22.3 – Basement car parking		
Logical and efficient basement design AS2890.1	Refer to Engineering comments.	NO
Appropriate ceiling floor to ceiling heights and ventilation provided: 2.5 metres for parking area for people with a disability; 2.6 metres for residential waste collection and manoeuvring area 4.5 metres for commercial waste collection and manoeuvring area	Complies.	YES
Basement is fully tanked	Complies.	YES
Unimpeded access to visitor parking and waste recycling rooms	Complies.	YES
Ventilation grilles and screening devices are integrated into the landscape design	Complies.	YES
Vehicles access ways are not in close proximity to doors and windows of habitable rooms	Complies.	YES
Safe and accessible intercom access provided	Could be conditioned.	YES

22.4 – Visitor parking		
Visitor parking located behind a security grille with an intercom system to gain entry At least one visitor space is accessible and designed in accordance with AS2890.6	Complies.	YES
22.5 – Parking for people with a disability		
Accessible spaces are signposted and have a continuous path of travel to the principal entrance or a lift	Complies.	YES
22.6 – Pedestrian Movement within Car Parks		
Pathways designed in accordance with AS1428.1	Complies.	YES
Marked pedestrian pathways have clear sightlines, appropriate lighting, are visible, conveniently located and constructed of non-slip material	Complies.	YES
22.7 – Bicycle Parking and facilities		
Bicycle parking and storage facilities satisfy AS2890.3	Complies.	YES
Bicycle access paths have a minimum width of 1.5metres	Complies.	YES
Part 23 – Building Design and Sustainability		
23.3 – Sustainability of Building Materials and		
23.4 – Materials and Finishes		
External walls constructed of high quality and durable materials	Complies.	YES
Use of materials and colours creates well-proportioned facades and minimises visual bulk	Complies.	YES
a) 23.6 – Building Services		
Services and related structures are appropriately located to minimise streetscape impact	Complies.	YES
Air-conditioning units are well screened and do not create adverse noise impacts	Insufficient information.	NO
23.7 – Acoustic Privacy		
Design minimises impact of internal and external noise sources	Complies.	YES
Noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, or other mechanical ventilation systems and plant either as an individual piece of equipment or in combination shall not be audible within any habitable room in any residential premises before 7am and after 10pm. Outside of these restricted hours noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, or other mechanical ventilation systems and	Complies.	YES

plant either as an individual piece of equipment or in combination shall not emit a noise level greater than 5dB(A) above the background noise (LA90, 15 min) when measured at the boundary of the nearest potentially affected neighbouring properties. The background (LA90, 15 min) level is to be determined without the source noise present.		
23.8 – Visual Privacy		
Visual privacy maintained for occupants and for neighbouring dwellings	Does not comply.	NO
23.9 – Construction, Demolition and Disposal		
Satisfactory Environmental Site Management Plan	Provided.	YES

An assessment of the variations to the design controls identified in the compliance table is provided below.

Part 21.1 Earthworks and Slope

The proposal does not comply with the following development controls in Part 21.1 of the KDCP (controls summarised):

- I. Control 1: To respect the natural topography of the site.

The above-ground component of Level C1 adversely impacts the ability of the development to retain existing ground levels in the south-eastern corner of the site. This results in large retaining walls and a podium-style landscaped area within the frontages to Roseville Avenue and Trafalgar Avenue that is fundamentally at odds with the character of the surrounding streetscapes. The proposed retaining walls are incongruous with the scale of other retaining walls within the vicinity and are unable to be softened by landscaping. As a result, the proposal does not satisfy Objectives 1 and 9 in Part 21.1 of the KDCP.

Part 21.1 Landscape Design

The proposal does not comply with the following development controls in Part 21.2 of the KDCP (controls summarised):

- I. Control 1 (i): Retain significant and visually prominent trees and vegetation that contributes to neighbourhood character.
- II. Control 2: Landscape design is to demonstrate consideration of:
 - a) the proximity of trees to buildings, walls and other structures on site and on adjoining sites;
 - b) the proximity of trees to stormwater, electricity, gas, sewer and other services; and
 - c) the potential hazard of planting types and densities on sites prone to bushfire risk (refer to Planning for Bushfire Protection 2019).

The removal of Tree 3 *Nyssa sylvatica* (*Tupelo*) is not acceptable for the reasons outlined in the Landscape Officers referral above.

The proposed retaining walls along the southern (front) and eastern (side) boundaries are poor contributions to the landscape character of Roseville and would dominate the garden setting. The proposed retaining walls will disrupt landscape vistas across boundaries lines

along Roseville Avenue and Trafalgar Avenue and result in a totally new character for the corner of both Avenues. The proposal does not satisfy Objectives 1, 4, and 5 in Part 21.2 of the KDCP.

Part 23.8 Visual privacy

The proposal does not comply with the following development control in Part 23.8 of the KDCP (controls summarised):

- I. Control 1: Private open spaces (POS) and principal living spaces of the proposed dwelling/s and adjacent dwellings are to be protected from direct or unreasonable overlooking from all new residential and non-residential developments.

The proposal cannot satisfy the control in the context of the R2 Low Density Residential Zone given the number of balconies on all elevations that will obtain unfettered views into the rear POS of neighbouring low density dwelling houses. The extent of this overlooking is uncharacteristic of the R2 Low Density Residential Zone. The impact is not envisaged by the Objectives of the R2 Low Density Zone and the proposal fails to satisfy Objective 1, Part 23.8 of the KDCP.

Part 24 Water management

The application includes insufficient information to satisfy Part 24 of the KDCP.

Housing productivity contributions

If the Panel is of a mind to approve the application a, contributions would be payable per the requirements of this plan.

Ku-ring-gai Contributions Plan 2010

If the Panel is of a mind to approve the application, contributions would be payable per the requirements of this plan.

REGULATION

If the application were recommended for approval, a condition requiring that demolition works be in accordance with Australian Standard AS 2601-2001: The demolition of structures would be recommended.

LIKELY IMPACTS

The likely impacts of the development have been considered within this report and are deemed to be unacceptable for the reasons discussed throughout this report.

SUITABILITY OF THE SITE

The site is not suitable for the proposed development for the reasons given throughout this report.

PUBLIC INTEREST

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by the Panel ensuring that any adverse effects on the surrounding area and the environment are minimised. The proposal has been

assessed against the relevant environmental planning instruments and is deemed to be unacceptable. On this basis, approval of the proposal is contrary to the public interest.

CONCLUSION

Having regard to the provisions of Section 4.15 of the Environmental Planning and Assessment Act 1979, the proposed development is unsatisfactory for the reasons detailed throughout this report.

RECOMMENDATION

PURSUANT TO SECTION 4.16(1) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

THAT the Ku-ring-gai Local Planning Panel exercising the functions of Ku-ring-gai Council, as the consent authority, pursuant to Section 4.16 of the Environment Planning and Assessment Act 1979, refuse development consent to eDA0254/25 for the demolition of existing buildings the construction of a residential flat building with basement parking and associated works on land at 18 and 20 Roseville Avenue Roseville, for the following reasons:

1. The proposal is inconsistent with the existing and desired future character of the area

The proposal is inconsistent with the existing low density residential character of Roseville Avenue and the surrounding streets. The proposal is also inconsistent with the Ku-ring-gai TOD Alternate Scheme.

Particulars

- a) The first objective of the R2 Low Density Zone states: *to provide for the housing needs of the community within a low-density residential environment*. The site and surrounding properties are zoned R2 Low Density Residential. As such, the site is not capable of achieving its maximum development potential despite the TOD SEPP due to its location within an R2 Low Density Zone.
- b) The third objective of the R2 low Density Zone states: *To provide for housing that is compatible with the existing environmental and built character of Ku-ring-gai*. The proposed development is fundamentally at odds with the low-density residential zone due to the typology of the development and subsequent excessive height, non-compliant setbacks and the resultant bulk and scale.
- c) The proposal fails to respond to the low-density residential character of Roseville Avenue, Trafalgar Avenue and Oliver Road. In this regard, the proposed development will present an overbearing and dominant built form that is incongruous with the high-quality characteristics of the low-density residential neighbourhood. The proposal will be highly perceptible from the surrounding properties and streets and cannot be described as compatible with the existing built character of the R2 Low Density Zone.
- d) Section 20(3) of SEPP Housing provides that:

'development consent must not be granted to development under this division unless the consent authority has considered whether the design of the residential

development is compatible with... for precincts undergoing transition, the desired future character of the area' [Council's emphasis].

Council's draft alternative planning controls for the TOD areas, which have been adopted by Council and forwarded to the Department of Planning for endorsement envisage a future character similar to the existing character which permits the following:

- i. maximum building height of 9.5 metres, and
- ii. maximum FSR of 0.3:1

Currently, under KLEP 2015 a maximum building height of 9.5 metres and FSR of 0.3:1 are permitted on the site. As such, the precinct is not considered to be undergoing transition, nor is it likely to undergo transition.

- e) Notwithstanding the TOD Alternative Scheme is in draft form, it should be taken into consideration in the assessment of the subject Development Application given it is in the public interest, as the alternative scheme has been publicly exhibited and there has been consultation with the community, and it has been referred to the Department of Planning and is expected to replace the TOD provisions. Consequently, the TOD Alternative Scheme reflects the expectations of the community and is likely to be gazetted.
- f) The proposal under the Development Application fails to achieve consistency with the desirable elements of the character of the local area because:
 - i. The site is surrounded by R2 low density zones, local heritage items and the Clanville heritage conservation area. Under the proposed TOD Alternative Scheme, the adjoining sites are to retain their R2 zoning (in all directions) and HCA / heritage item status, in order to retain and maintain the character and low-density residential scale.
 - ii. The Clanville heritage conservation area (HCA) includes dwellings with single detached houses from the Federation, Inter-war and Post-war periods. These buildings make an important contribution to the character and significance of the HCA as they provide a key historical layer, most are true to an architectural type, style or period and some are substantially intact within a garden setting.
 - iii. The proposed 7-8 storey residential flat building, which has insufficient landscaping and setbacks would be juxtaposed with the existing residential character and the desired future character as planned by the TOD Alternative Scheme.
 - iv. Deep soil landscaping is significantly less than that of other sites in the locality with limited landscaping proposed and insufficient space for canopy tree planting in scale.
- g) Section 20(3) of SEPP Housing requires the consent authority to consider whether the *"design of the residential development is compatible with (a)... (b) for precincts undergoing transition, the desired future character of the precinct"* [Council's emphasis]. The proposed bulk and scale is not compatible with the Ku-ring-gai TOD Alternate Scheme or the desired future character of Roseville.
- h) The Proposal is inconsistent with the planning principle established in *Seaside Properties v Wyong Council (2004) 136 LGERA 111* at [25] (Seaside Planning Principle). For the following reasons:

- i. The site analysis has not been prepared to comply with Part 3A of the ADG or Part 2.1 of KDCP.
 - ii. The site analysis fails to adequately describe the site's surrounding urban context and does not adequately consider the site character and amenity of future users of the site or current occupants of adjoining properties.
 - iii. The site analysis fails to adequately demonstrate that the design response proposed in the Development Application is well founded and responsive to the specific site context contrary to KDCP Part 2.1, Objectives 2, 5, 7 and 8.
 - iv. The proposal does not include studies of the streetscape including setbacks and deep soil more widely within the local context.
 - v. The provided Architectural Analysis has focused on the immediate neighbours but is silent on the wider streetscape implications expected to demonstrate a sensitive design approach and heritage response.
- i) Accordingly, the proposed site layout does not provide a clear conceptual design strategy in response to the opportunities and constraints of the specific site conditions. In particular, the accompanying drawings and documentation do not adequately demonstrate how the proposed arrangement of building mass has responded to the site analysis, contrary to KDCP Part 7A.2, Control 1 and 2 and Objectives 1, 3, 6, 7 8.
- j) For the reasons set out above, the proposal fails to identify and respond to the attributes and constraints of the site and the surrounding area. This results in a proposed development, which has an unsatisfactory relationship with neighbouring sites, the HCA and heritage items, and does not satisfactorily address the perceived bulk of the proposed development and its visual impact. The proposal thus fails to satisfy aims i, ii, iii, iv, v of Part 7 of KDCP.

2. Excessive bulk and scale

The proposal presents excessive bulk and scale to the neighbourhood that is entirely incongruous with the low-density development on adjoining and surrounding land.

Particulars:

- a) Due to the following significant and unreasonable departures from the required setback controls, the proposal contravenes the objectives in Part 7A.3 and Part 19F.2 of the KDCP:
- i. The eastern basement details a minimum setback of 6 metres, whereas Control 1 (ii) in Part 7A.3 KDCP requires a setback of 10 metres. This represents a 40% variation to the control.
 - ii. The western basement details a minimum setback of 4.6 metres, whereas Control 11 in Part 7A.3 KDCP requires a setback of equivalent to the side setback, being 6 metres. This represents a 23.3% variation to the control.
 - iii. The eastern (side) elevation on all levels details a minimum setback of 6 metres, whereas Control 1 (ii) in KDCP requires a setback of 10 metres. This represents a 40% variation to the control on all levels.
 - iv. The western (side) elevation details setbacks of between 6 metres and 9 metres. Whereas Control 3 (i) in Part 19F.2 KDCP requires a minimum setback of 12 metres adjacent to heritage items. This represents a 50% and 25% variation to the control, respectively.
 - v. The northern (rear) elevation adjoins a low-density residential dwelling and yet, the proposal details setbacks of between 6 metres and 8.8 metres, whereas Control 10 (i) requires a minimum setback of 9 metres (up to the 4th storey) and

Control 10 (ii) requires a minimum setback of 12 metres (5th storey and above). This represents a 33.3% and 26.6% variation to the control, respectively.

- b) The resulting built form fails to interface and blend into the streetscape, with a reliance on blank walls along the southern and eastern boundaries that emphasise the bulk and scale of the development when viewed from within the streetscape.
- c) The aim at subparagraph (b)(ii) of Section 150 of Chapter 5 of SEPP Housing is to deliver residential apartment buildings that “*are of appropriate bulk and scale*”. Objectives 1, 2, 3, 4, 7, 11, 12, 13, 14, 15 and 16 of Part 7A.3 ‘Building Setbacks’ in KDCP seek to ensure that there are suitable setbacks to enable appropriate massing and spaces between buildings, to protect trees and allow for deep soil landscaping (including tall and medium trees), to maintain the character and minimise impacts to neighbouring development. In particular, the development would result in:
 - i. a building bulk that is excessive and not appropriate for this site.
 - ii. an arrangement of the building form on the site which is inefficient and contributes to setback non-compliances.
 - iii. The proposed building failing to be set within a garden setting that is dominated by tall trees. The garden character of the area is not preserved on the site under the proposal. There are insufficient building setbacks proposed in conjunction with basement encroachments, which limit viable deep soil landscaping to create the required garden setting. Therefore, increasing the perception of building bulk when viewed from the public domain and neighbouring properties.
 - iv. The development fails to achieve a bulk that is appropriate to the existing or future character of Roseville Avenue and Trafalgar Avenue. The bulk is excessive, and this is evident by the building setback non-compliances. This bulk reduces opportunities for the establishment of an appropriate garden setting which is inconsistent with the context and local streetscape character. The proposal is therefore inconsistent with design principles 1, 2, 5 and 6 in Schedule 9 of SEPP (Housing) 2021.

3. Adverse heritage impacts

The proposal will have a significant adverse impact upon the Clanville Heritage Conservation Area due to the demolition of the contributory item at No. 18 Roseville Avenue and upon the adjoining heritage item at No. 16 Roseville Avenue.

Particulars:

- a) The proposal will destroy a highly intact contributory item at No. 18 Roseville Avenue. No consideration of the Helou Principles developed in *Helou v Strathfield Municipal Council* [2006] NSWLEC 66 has been demonstrated to justify this destruction. This outcome is contrary to Clauses 5.10 (1) (a) and (b) KLEP 2015, Objectives 1-2 in Part 19B.1 KDCP.
- b) The proposed site consolidation is in contravention of the historic subdivision pattern and the extent subdivision pattern that forms the foundation of the layout, pattern, and grain of the heritage conservation area. The amalgamation is unacceptable and contrary to Clause 5.10 (1) (b), Objectives 1-3 in Part 19A KDCP.
- c) The proposal is contrary to Objectives 1-2 in Part 19D.1 KDCP for the following reasons:

- i. The proposed new development is entirely unacceptable in terms of its scale. It does not respond to the height of any of the surrounding development within the heritage conservation area nor the heritage items.
 - ii. The residential flat building is concentrated into two allotments, which are intended for amalgamation and the resulting height and form will dwarf adjoining development.
 - iii. The proposal has no regard for the design and character of the existing heritage items and contributory buildings with which it will interface.
 - iv. The proposal is not compatible with nor even cognisant of the adjacent heritage items or nearby contributory buildings, nor the development within the wider conservation area.
 - v. The precinct is characterised by detached dwellings, that appear as single storey and, in some cases, have concealed upper storeys or rooms-in-the-roof. The proposed residential flat building is markedly different in terms of its form, scale and presentation within the conservation area.
 - vi. The overall adverse impacts are exacerbated by the building's dual presentation to both Roseville and Trafalgar Avenue, which means the development will be highly visible from numerous angles.
- d) The proposal is contrary to Objectives 1-2 in part 19D.2 KDCP for the following reasons:
- i. Though not shown in detail, the proposal is considerably further forward than the existing heritage item at No.16 Roseville Avenue. It is not clear how much further forward than the adjacent building at No. 22 Roseville Avenue that the proposed residential flat building is located. The siting of building forward of two heritage items and likely contributory buildings in the wider context will exacerbate the appearance of the proposed development.
 - ii. It is not clear where the primary pedestrian entrance to the building will appear if constructed.
 - iii. The site amalgamation makes the issue of setbacks a moot point because the construction of a large building straddling two sites negates any regard for building setbacks.
- e) The proposal is contrary to Objectives 1 and 4 in Part 19D.3 KDCP due to the removal of Tree 3 *Nyssa sylvatica* (*Tupelo*), inability to provide sufficient canopy trees and the development of a large masonry wall across both frontages that disrupts the streetscape vistas from a pedestrian perspective.
- f) The proposal is contrary to Objective 1 in Part 19D.4 of KDCP for the following reasons:
- i. The windows are likely aluminium for BASIX as they are not detailed, and this would be inconsistent with the heritage conservation area.
 - ii. The massing, proportions and detailing of the proposed residential flat building has no regard for the adjacent heritage items of the heritage conservation area, which are small scale, detached residences
- g) The proposal is contrary to Objectives 1-7 in Part 19F.1 of KDCP for the following reasons:
- i. The proposal is flawed from a heritage perspective for several reasons including the inappropriate site amalgamation, demolition of the extant dwellings especially the contributory dwelling to the heritage conservation area located at No. 18 and because of the nature of the replacement building.

- ii. The proposed residential flat building will be visually dominant, overwhelming, and overbearing, dwarfing the adjacent heritage items and the wider heritage conservation area.
 - iii. The proposed scale and siting of the new building footprint does not relate to surrounding development and contributes to the resulting adverse heritage impacts.
 - iv. The design of the building at street level is flawed and does not respond to the fine grain context of the streetscape.
 - v. The proposed new residential flat building will be within the setting of two heritage items and within a conservation area. The views to, form and of these items and this area will be adversely and permanently changed because of the removal of the existing buildings coupled with the construction of the proposed residential flat building. These changes will irreversibly alter the conservation area and the longevity of the heritage items contrary to their qualities and reasons it is a heritage conservation area, especially No. 16 Roseville Ave.
- h) The proposal is contrary to Objectives 1-3 in Part 19F.2 of KDCP for the following reasons:
- i. The proposed setbacks are inappropriate and insufficient to mitigate any impacts of the proposed residential flat building on the adjacent heritage items, contributory buildings and collectively, the wider heritage conservation area.
 - ii. The proposed building makes a small gesture between the sixth and seventh level to step away from the heritage item at No. 16 Roseville Avenue. However, this is entirely tokenistic and does nothing to reduce the impacts on the adjoining heritage item.
 - iii. The proposal is contrary to the Objective in Part 19F.3 of KDCP as insufficient space exists to support additional canopy trees, Tree 3 *Nyssa sylvatica* (*Tupelo*) would be removed; both outcomes will detract from the garden setting of the neighbourhood.
 - iv. The proposal is contrary to Objectives 1-4 in Part 19F.4 due to the presentation of large masonry walls and wide garage doors to the streetscape. Which is incompatible with the heritage conservation area.
 - v. The heritage conservation area includes dwellings with single detached houses from the Federation, Inter-war and Post-war periods. These buildings make an important contribution to the character and significance of the heritage conservation area as they have a key historical layer, most are true to an architectural type, style or period and some are substantially intact including their garden setting. The proposed development fails to preserve this character, the site does not abut a zone interface, nor a transitional height interface and therefore the site is not appropriate for the scale of development that is proposed.

4. Inadequate design and location of building entries

The main entry to the proposed building is not clear nor identifiable from street level. It is also unnecessarily elevated above street level.

Particulars:

- a) The main building entry is situated above street level and accessible via a narrow staircase from Trafalgar Avenue with little entry presence or clear visual cues to or from the street and inconsistent with ADG Objective 3G-2.
- b) The building entry design is non-compliant with Controls 4, 7, 10 and is inconsistent with Objectives 1, 2, 3 and 6 in Part 7C.5 in KDCP.

- c) The building entry is inconsistent with design quality principle 7 in Schedule 9 of SEPP (Housing) 2021.

5. Lack of amenity to communal open space

The communal open space (COS) would receive inadequate solar access.

Particulars:

- a) The primary COS is located at ground level where the site receives the lowest solar access and inconsistent with objective 3D-1 of ADG.
- b) The area allocated to COS is inadequate for the scale of the development. Access is convoluted which further discourages its use, this is inconsistent with objective 3D-1 of the ADG and Part 7C.2 Objectives 1, 2, 3, 4, 5, 7 and Controls (3), (4), (6), (7) of KDCP.

6. Unacceptable privacy impacts to the adjoining properties

The proposed development will result in unreasonable privacy impacts for the adjoining development.

Particulars:

- a) Due to insufficient setbacks from the heritage item at No. 16 Roseville Avenue and typology of the development being multi-storey, no amount of mitigation will resolve the extent of overlooking that impacts the rear POS of No. 16 Roseville Avenue.
- b) Due to insufficient setback from the heritage item at No. 16 Roseville Avenue, the extent of overlooking cannot be mitigated by screening alone.
- c) The proximity of the COS to the rear POS No. 16 Roseville Avenue will result in adverse acoustic impacts to No. 16 Roseville Avenue.

7. Excessive site coverage

The site coverage is excessive which is not consistent with the desired future and landscape character of the locality.

Particulars:

- a) By the applicant's calculations, the proposed site coverage is 44.6% and non-compliant with the maximum site coverage control of 30% specified in control 1 in Part 7A.5 in KDCP. The proposed Site coverage is excessive and fails to *'provide for viable deep soil landscaping within the development; and ensure consistency with the desired future landscape and built character of the area'*. The proposed site coverage is inconsistent with objectives 1, 2, 3 and 5 in Part 7A.5 in KDCP.

8. Unacceptable tree impact

The proposal results in unacceptable impacts on trees, contrary to Part 3 of the Apartment Design Guide (ADG), Parts 7A.6 and 13 of the Development Control Plan (DCP), and Australian Standard AS4970-2009 – Protection of trees on development sites.

Particulars:

- a) T3 – *Nyssa sylvatica* (Tupelo)
 - i. The removal of T3 is not acceptable.
 - ii. T3 is a significant landscape feature, particularly contributing to the Trafalgar Avenue streetscape and holds visual and contextual significance within the heritage conservation area.
 - iii. The arborist's rating of T3 as having a medium priority for retention is not supported, as it fails to account for the tree's good health, excellent condition, and its high landscape and heritage significance.
 - iv. For the above reasons, Tree 3 should be regarded as a material site constraint, necessitating a redesign of the development layout to accommodate its retention.
 - v. To support the long-term preservation of T3, it is recommended that the driveway be relocated to achieve a minimum setback of 6 metres from the tree's trunk.
- b) T19 – *Fagus sylvatica* (Copper Beech)
 - i. The proposed dwelling and access ramp works would result in an 18% encroachment into the TPZ of T19 and within the SRZ which is a major encroachment under the standard.
 - ii. Given the proposed finished level of the access ramp adjacent to the north-eastern boundary it appears that excavation is required within the structural root zone (SRZ). Subsequently, these works have the potential to destabilise and impact the long-term viability of the tree.
 - iii. To enable a full assessment of the impacts of the works on T19 non-destructive root mapping along the south-western side of the proposed access ramp within the designated SRZ is to be submitted.

9. Landscape design

The landscape proposal is inadequate and fails to maintain the landscape character of the locality.

Particulars:

- a) Detail 3, Sheet 2 of the landscape plans lacks detail in relation to the proposed depths of the podium planter beds in accordance with Objective 4P of Part 4 of the ADG.
- b) Insufficient canopy trees within the south-western side setback to satisfy Part 7A.1 of the DCP. At least 3 x fastigate form canopy trees are to be planted within the south-western side setback.
- c) An additional 4 trees, that will attain a mature height of 18 metres, are required to satisfy Control 7 of Part 7A.6 of the DCP. To achieve compliance with this part, it is recommended that the 2 x *Waterhousia floribunda* (Weeping Lilly Pilly) and the 2 x *Ulmus parvifolia* be replaced to meet this requirement.
- d) Insufficient medium and small shrubs within the garden bed adjacent to the north-western boundary to satisfy Control 8 of Part 7A.6.
- e) The plant species of some of the proposed planting in the south-western side setback has not been indicated on Sheet 3 of the landscape plans.

10. Housing diversity, apartment mix and accessibility

Further information is required to demonstrate that the proposal can achieve universal access.

Particulars:

- a) Proposed Platinum Level units should be representative of the unit mix being offered and their location should achieve equitable access to high amenity. Most units achieve this; however, specificity is required to nominate which units these criteria apply to.
- b) Platinum Level clearances have not been demonstrated on the plans.
- c) Further consideration of the apartment mix may be required to rationalise the built form to assist with addressing particulars at contention & 'Excessive Building Bulk'.

11. Safety

The building entry fails to encourage passive surveillance as it does not provide clear and unobstructed sightlines contrary to the crime prevention through environmental design (CPTED) Principles and the ADG.

Particulars:

- a) CPTED seeks to ensure building entries and entry sequence demonstrates lobbies have clear unobstructed sightlines to provide adequate passive and active surveillance. The entry sequence should achieve a direct path from the street to the lifts that avoids dog-legs and mitigates stairs.
- b) A performance solution has not been presented to justify the reliance upon a single fire exit and elevator. Further information is required.
- c) The lifts, lobbies and accessways of Level 0, Level C1 and Level C2 should be of a suitable size such that residents can transport their bicycles between their storage areas and ground/street level.

12. Lack of car parking

The proposed development fails to provide the minimum car parking rates pursuant to SEPP Housing, Chapter 2, Section 19(2)(f) and additional information is required to enable assessment:

Particulars:

- a) The proposed development is deficient by one car space for units not allocated to affordable housing.
- b) There is no on-site visitor car parking provided. Provision should be made for at least 7 visitor car parking spaces.
- c) Compliance with the 2 metres x 2.5 metres sight triangle at the access point as required by AS2890.1 needs to be clarified/demonstrated.

- d) The access driveway gradient from the property boundary into the site needs to be clarified.
- e) The visitor bicycle parking be relocated to street level and on-site, just outside the main entry lobby.
- f) EV readiness is to be provided for all car parking spaces within the development. A notation shall be provided on the architectural basement plans.
- g) An on-site loading area should be provided, the position of which must not prevent access to and from the basement level car park, with at least one travel lane to be maintained at all times while loading/unloading takes place on the driveway. At least one on-site loading space which is at least 3.5 metres wide is to be provided to cater for a minimum 6.7 metres long service vehicle. The loading space/s should be line marked and/or signposted as a designated loading area.

13. Public interest

The Development Application is not in the public interest.

Particulars:

- a) The Development Application is not in the public interest for the reasons outlined above.
- b) The cumulative adverse environmental impacts outweigh any public or private benefits associated with the Development Application, for the reasons outlined in this report.
- c) The Development Application is also unsatisfactory pursuant to Sections 1.3(f) and 1.3(g) of the EP&A Act, as it does not promote good design and amenity of the built environment.
- d) 174 submissions were received, which raised many of the issues outlined in this report.

14. Insufficient information - Sydney Metro

Sydney Metro has refused to provide concurrence until they can confirm the level of risk the development poses to the Metro corridor.

Particulars:

- a) The survey plans and sections plans do not show Sydney Metro's 1st and 2nd reserves, as well as the proposed basement excavation.
- b) The structural design documentation does not show the Sydney Metro tunnel alignment.
- c) The proposed lift core is located only 720 millimetres from the Sydney Metro substratum/easement. The structural design documentation does not show what measures are required to avoid the potential over excavation into the Sydney Metro substratum.
- d) The Geotechnical Report does not adequately demonstrate measures to avoid the piles encroaching into the Sydney Metro substratum.

- e) A Risk Assessment as developed with reference to the "Sydney Metro At-grade and Elevated Sections Corridor Protection Technical Guidelines". The developer and developer's consultant need to ensure that risk assessments meet the requirement of "Sydney Metro Underground Corridor Protection Technical Guidelines".

15. Insufficient information - Engineering

Insufficient information submitted with the application to determine that the proposed development is acceptable on engineering grounds:

Particulars:

- a) An indicative construction traffic management plan was not submitted.
- b) No details submitted to demonstrate that the proposed 300 millimetres diameter pipe can connect into Council's existing pit including the proposed discharge volume and flow rate.
- c) A Waste Management Plan was not submitted.
- d) Swept paths were not submitted to demonstrate that Council's Waste Collection Vehicle (6.7 metres Mitsubishi Canter) can enter and depart the garbage/room recycle storage area in a forward direction.
- e) Waste garbage room fails to indicate the required number of bins for waste, paper and recycling as required by Part 25 of the Ku-ring-gai DCP.

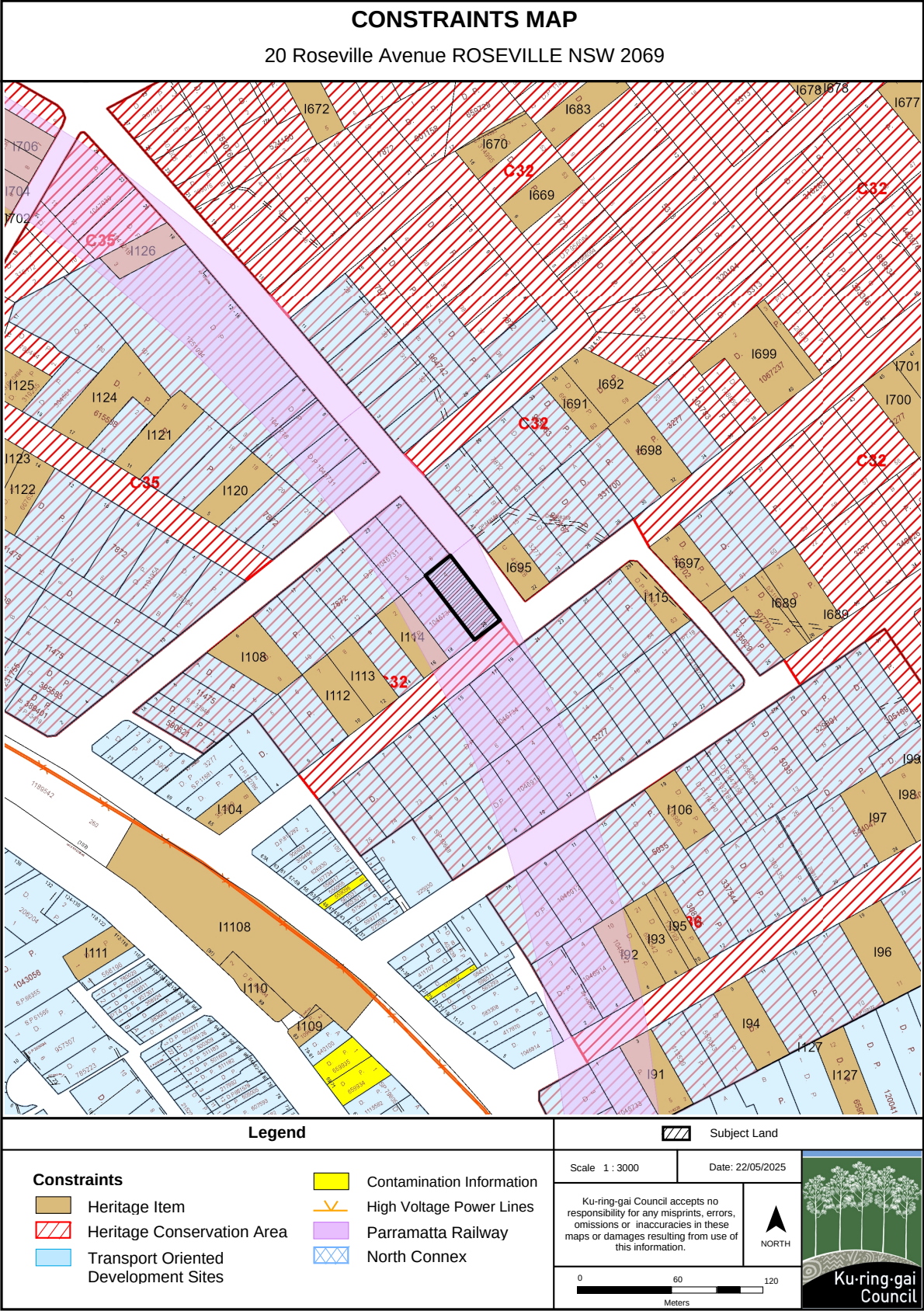
16. Insufficient information - Gross Floor Area

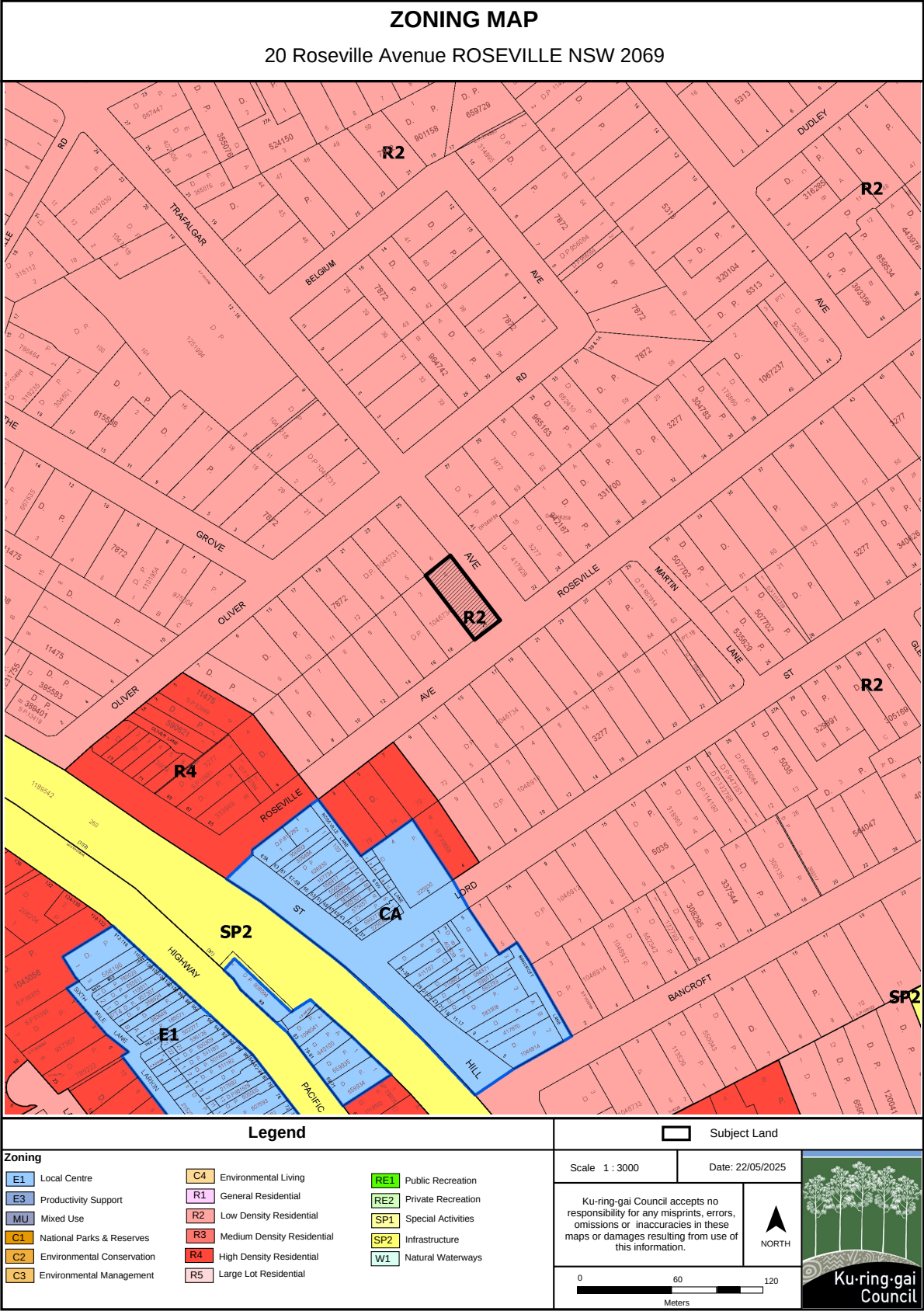
Insufficient information has been submitted with the application to demonstrate that the proposed development complies with the applicable floor space ratio development standard.

Particulars:

- a) The maximum permitted floor space ratio is 2.5:1, as specified in Chapter 5, Section 15(4) of SEPP Housing. Section 16 of SEPP Housing provides for affordable housing requirements for additional floor space ratio (FSR) and specifies at S16(1) that the maximum FSR for such development, "is the maximum permissible floor space ratio for the development on the land plus an additional floor space ratio of up to 30%, based on the minimum affordable housing component calculated in accordance with Subsection (2)". In this case the maximum FSR for the site is 3.25:1 (including the affordable housing bonus).
- b) The GFA / FSR is shown on DD-A-800, revision A, at a 1:500 scale as 4,696m² GFA or 2.27:1 FSR.
- c) However, the method used to calculate the proposed GFA and allowable FSR of the proposed development is unclear. The applicant should provide GFA diagrams (that comply with the definition for GFA under the KLEP) that include such details as:
 - i. The thickness of walls to common vertical circulation such as lifts and stairs (where not external) and the thickness of walls to risers, which should be included in the calculation GFA.

- ii. A survey is to be overlayed onto the floor plans to demonstrate that the areas that are excluded from the GFA calculation are classified as “basement” areas and where the ground floor level is 1m or more above existing ground level.
- d) Insufficient information has been provided to determine the full extent of proposed GFA.





DEVELOPMENT APPLICATION

Roseville Ave Apartments
18 - 20 Roseville Avenue Roseville NSW Australia
Developcorp Constructions Pty Ltd

REV A 16/04/2025

SMITH & TZANNES

25_003 REV A 16/04/2025



DRAWING SCHEDULE

DRAWING No.	DESCRIPTION
DD-A-000	TITLE
DD-A-001	NOTES
DD-A-010	SITE PLAN
DD-A-011	DEMOLITION PLAN
DD-A-020	CONSTRUCTION MANAGEMENT
DD-A-021	SITE WORKS
DD-A-022	SITE DETAILS
DD-A-100	LEVEL C1 & C2
DD-A-101	LEVEL 0 & 1,2,3
DD-A-102	LEVEL 4,5,6,
DD-A-103	ROOF
DD-A-200	ELEVATIONS
DD-A-201	ELEVATIONS 2
DD-A-202	SECTIONS
DD-A-800	AREA CALCULATIONS
DD-A-801	SOLAR CALCULATIONS
DD-A-802	CROSS VENTILATION CALCULATIONS
DD-A-803	LANDSCAPE AREA CALCULATIONS
DD-A-850	SHADOWS - WINTER SOLSTICE
DD-A-851	SHADOWS - WINTER SOLSTICE
DD-A-852	VIEW FROM SUN
DD-A-853	VIEW FROM SUN
DD-A-900	EXTERNAL VIEWS
DD-A-990	NOTIFICATION PLAN
DD-A-SK001	Sketch title

SITE SCHEDULE

02 Site Areas Schedule		
Zone Category	AREA	
COMMUNAL OPEN SPACE	523	CONTROL
DEEP SOIL		25% = 517m² (ADG)
	870	15% = 311m² (AFFORDABLE HOUSING SEPP)
LANDSCAPED AREA		30% = 621m² (AFFORDABLE HOUSING SEPP)
	873	
SITE AREA	2,069	
SITE COVERAGE	923	30% = 621m² (DCP)

APARTMENT MIX SCHEDULE

BEDS	
1 BED	3
2 BED	21
3 BED	17
	41

GFA SCHEDULE

LEVEL	AREA	
LEVEL C1	69	CONTROL
LEVEL 0	599	
LEVEL 1	742	
LEVEL 2	741	
LEVEL 3	741	
LEVEL 4	602	
LEVEL 5	600	
LEVEL 6	602	
	4,696 m²	2.5:1 = 5172m² (TOD SEPP)

LEGEND

AC	AIR CONDITIONING
AL	ALUMINIUM
AD	ALUMINIUM FRAMED DOOR
ADJ	ADJUSTABLE
AGC	ANTI GRAFFITI COATING
AFFL	ABOVE FINISHED FLOOR LEVEL
ANO	ANODISED
ASSL	ABOVE STRUCTURAL SLAB LEVEL
AP	ACCESS PANEL
AW	ALUMINIUM FRAMED WINDOW

BA	BATHSPOUT
BAL#	BALUSTRADE TYPE #
BAL-G	GLASS BALUSTRADE
BAR	BARRIER
BB	BOND BREAKER
BCT	BABY CHANGE TABLE
BEN	BENCH
BG	BOX GUTTER
BH	BULKHEAD
BIKE	BIKE RAIL
BL	BLIND
BCK	BLOCKWORK
BK	BRICKWORK (COMMONS)
BKB	BRICKWORK (BAGGED)
BO	BALCONY OUTLET
BOL	BOLLARDS
BP	BLOCKPLAN
BR	BUMP RAIL
BS	HARDWOOD TIMBER BENCH SEATING
BRH	BATHROBE HOOK
BSN#	BASIN
BT#	BATH TUB
BT	BOTTLE TRAP

CB	CONCRETE BLOCK
CBG	COLOURBLACK GLASS
CJ	CONSTRUCTION JOINT
CHO	COAT HOOK
CG	CLEAR GLASS
CFC	COMPRESSED FIBRE CEMENT
CFT#	CERAMIC FLOOR TILE TYPE
CK	COOKTOP
CL	CENTRE LINE
CLL	CLOTHES LINE
CLD	CLADDING
CLG#	CEILING
CO#	COOKTOP
CONC	GENERAL CONCRETE MACHINE FLOAT FINISH
CONF	CONCRETE FOOTPATH FINISH eg. BROOM FINISH
CON#	PROJECT SPECIFIC CONCRETE FINISH TYPE #
COS	CHECK ON SITE
CPD	CUPBOARD
CPT	CARPET
CWT#	CERAMIC WALL TILE TYPE #

D	DOOR
DG	DRIP GROOVE
DL-E	DOWNLIGHT EXTERIOR
DL-I	DOWNLIGHT INTERIOR
DL-F	(DOWNLIGHT) FLOOD LIGHT
DRW	DRAWER
DW#	DISHWASHER
DP	DOWNPIPE
DRY	DRYER
DST	DOORSTOP
DT	DRESSED TIMBER

EA	EQUAL ANGLE
EDB	ELECTRICAL DISTRIBUTION BOARD
ELECT	ELECTRICAL
ESR	ELECTRICAL SERVICES RISER
EJ	EXPANSION JOINT
EM	ENTRY MAT
EQ	EQUAL
EX	EXISTING
EXA	EXHAUST AIR
EXH	EXHAUST GRILLE

F	FRIDGE
FB#	FACE BRICK TYPE
FC#	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FE	FIRE EXTINGUISHER
FEN#	FENCE TYPE
FFL	FINISHED FLOOR LEVEL
FGB	FRAMLESS GLASS BALUSTRADE
FG	FIXED GLASS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FL	FLASHING
FLB	FLUSH BUTTON
FP	FIRE PLACE
FPB	FALL PREVENTION BARRIER
FRE	PORTABLE FIRE EXTINGUISHER
FRL	FIRE RATED LEVEL
FSL	FINISHED SLAB LEVEL (FIRE STAIR LANDINGS)
FT#	FLOOR TILE
FW#	FLOOR WASTE

GAS	GAS POINT
GAS	GAS FLUE
GD#	GRATED FLOOR DRAIN
GL	GLAZING
GU	GUTTER
GR	GRAVEL
GRB#	GRAB RAIL
GPO	GENERAL POWER OUTLET

HD	HANDDRYER
HR#	HANDRAIL TYPE #
HMR	HIGH MOISTURE RESISTANCE
HOB	CONCRETE HOB
HT	HOSE TAP
HWL#	HOT WATER UNIT
HYD	HYDRAULIC SERVICES RISER

IGHW	INSTANTANEOUS GAS HOT WATER UIT
INS#	INSULATION TYPE #
INT	AUDIO VISUAL INTERCOM DOOR STATION
J	JOINERY
KB	KICKBOARD
KP	KICKPLATE
LAM#	LAMINATE TYPE #
LB	LETTERBOX
LDY	LAUNDRY
LTUB#	LAUNDRY TUB TYPE
LVR#	LOUVRE

MB	METER BOX
MCLD	METAL CLADDING
MDC#	MEDICINE CABINET TYPE
MDF	MEDIUM DENSITY FIBRE BOARD (LOW VOC)
MDR#	METAL DECK ROOF SHEET TYPE #
MECH	MECHANICAL RISER
MICR	MICROWAVE
MIR	MIRROR
MJ	MOVEMENT JOINT
MLV#	METAL LOUVRE TYPE #
MLD	METAL LOUVRED DOOR
MPLY	MARINE GRADE PLYWOOD
MR	MOISTURE RESISTANT
MSC	MESH CAGE

NBN	NATIONAL BROADBAND NETWORK
NCOM	NON CUMBUSTIBLE AS DEFINED BY NCC
OF	OVERFLOW
OF#	OFF FORM CONCRETE
OV#	OVEN

P50	RONDO P50 SHADOWLINE CORNICE
PAV#	PAVING TYPE
PB#	PLASTERBOARD
PC	POLISHED CHROME
PCONC	POLISHED CONCRETE
PDC#	POWDERCOAT TYPE
PDO	PLANTER DRAIN OUTLET
PF	POOL FENCE
PIT	STORMWATER PIT
PL	PLANTER
PLD	PANEL LIFT DOOR
PLY	PLYWOOD
PM	PERFORATED METAL
PNT#	PAINT COLOUR
PP	PUSHPLATE

POLY	POLYURETHANE
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R	ROBE
REN#	RENDERED FINISH TYPE
RA	RETURN AIR
RB	ROLLER BLIND
RC	REINFORCED CONCRETE
RFID	RADIO FREQUENCY IDENTIFICATION SYSTEM
RH	RANGEHOOD
RL	RELATIVE LEVEL ITO AUSTRALIAN HEIGHT DATUM)
RS	ROLLER SHUTTER TYPE
RWO	RAINWATER OUTLET
RWT	RAINWATER TANK

S	STORAGE
SA	SUPPLY AIR
SAS	SERVICES ACCESS SYSTEM
SAP	SECURE ACCESS POINT (RFID)
SC	STORAGE CAGE
SCR	SCREEN
SDS	SOAP DISPENSER
SF#	STEEL FENCING TYPE #
SG	STEEL GATE
SHSC#	SHOWER SCREEN
SHS	SHOWER SHELF
SHM#	SHOWER MIXER
SHR#	SHOWER ROSE
SINK#	SINK

SK #	SKIRTING
SL	SKYLIGHT
SO	SURFACE OUTLET
SP	STONE PAVING
SPB	SPLASHBACK
SPD	SOAP DISPENSER
SS	STAINLESS STEEL
SSL	STRUCTURAL SLAB LEVEL
STL	STEEL
ST	STORAGE
STD	SLIDING TIMBER DOOR
STA	STEEL ANGLE
STB	STEEL BEAM
STC	STEEL COLUMN
STN	STONE
SW	STORMWATER

TAP #	TAPWARE
TBC	TO BE CONFIRMED
TC#	TOILET CISTERN TYPE
TD	TIMBER DECKING
TF#	TIMBER FLOOR TYPE
TFW	TIMBER FRAMED WINDOW
TG	TIMBER GATE
TGSI	TACTILE INDICATORS
TIM	TIMBER
TIMV	TIMBER VENEER

TOF	TOP OF FENCE
TOH	TOP OF HOB
TOW	TOP OF WALL
TPH#	TOILET PAPER ROLL HOLDER
TR	TOWEL RAIL
TRG	TRANSLUCENT GLAZING (OBSURE)
TV	TELEVISION

UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
UR#	URINAL

VAP	VAPOUR BARRIER (NCOM)
VDP	VOICE / DATA POINT
VJ	VERTICAL JOINT
VINYL	VINYL FLOOR FINISH/SYSTEM
VP	VENT PIPE
WC#	TOILET TYPE
WH	WEEP HOLE
WL#	WALL LIGHT
WM	WASHING MACHINE
WP	WEATHERPROOF
WPD	WASTE PAPER DISPENSER
WPM	WATERPROOF MEMBRANE
WS	WHEEL STOP
WT	WALL TYPE
WW	WALL WRAP (NCOM)

NOTES

- NEVER scale off drawings, use figured dimensions only.
- Verify all dimensions on site prior to commencement & report discrepancies to the architect.
- Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary
- The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
- This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS

Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.

SYMBOL LEGEND

+ RL+00.000	EXISTING SPOT LEVEL
+ RL+00.000	PROPOSED SPOT LEVEL
RL+00.000	EXISTING AREA LEVEL
RL+00.000	PROPOSED AREA LEVEL
D01	DOOR TAG. REFER TO DOOR SCHEDULE FOR TYPE
W01	WINDOW TAG. REFER TO WINDOW SCHEDULE FOR TYPE
	AREA NOT INCLUDED IN SCOPE OF WORKS

VERSION

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

DOCUMENT

NOTES

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue
Roseville

Developcorp Constructions Pty Ltd

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith ARN 7024



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REV A 16/04/2025 MODEL 25_003 Model-DD

Developcorp Constructions Pty Ltd



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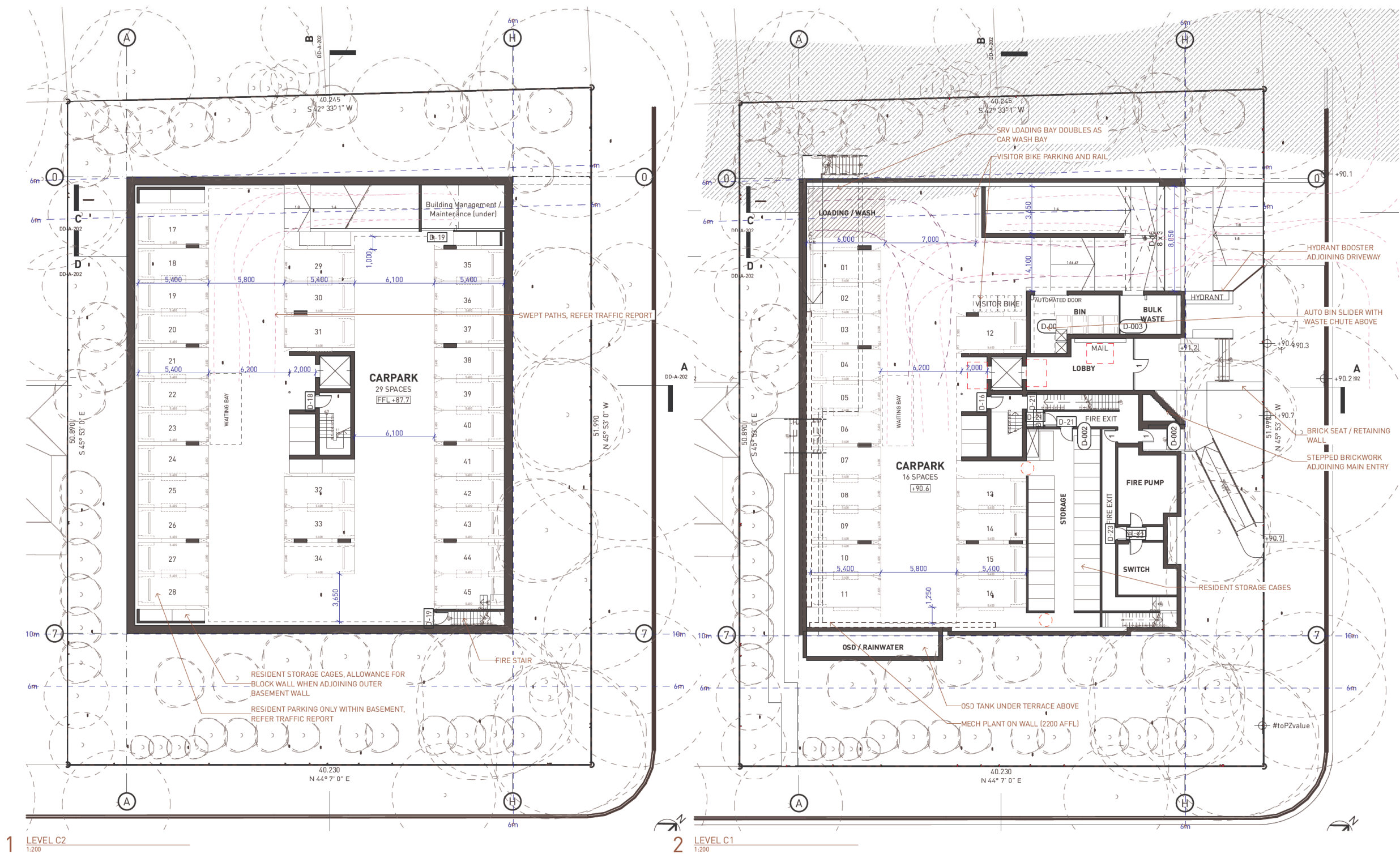


MODEL 25_003 Model-DD

DEMOLITION PLAN

ARCHITECTURE URBAN PLANNING
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NOTE: REFER TO SITE & DEMOLITION PLANS FOR POSITION OF STRUCTURE ON GA PLANS

Certificate No. 0011874210



PARKING SCHEDULE

	Type	Quantity
LEVEL C2		
	Resident	29
LEVEL C1		
	Resident	16

DOCUMENT

LEVEL C1 & C2

DOCUMENT

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

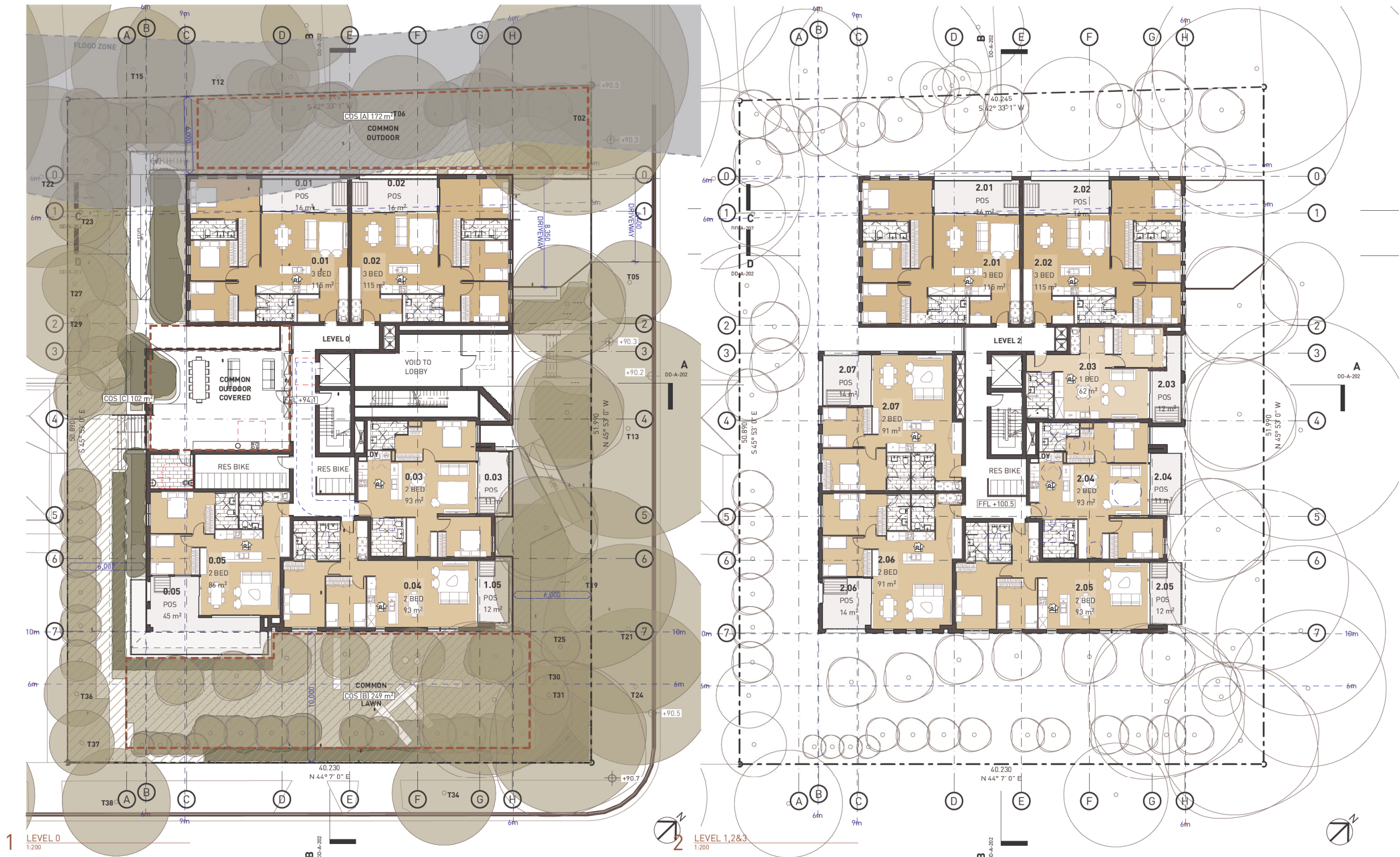
CLIENT

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25_003 DA-A-100



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NOTES (KU-RING-GAI APPLICATION GUIDE):

- (1) REFER TO SITE & DEMOLITION PLANS FOR POSITION OF STRUCTURES TO BE DEMOLISHED - ILLEGIBLE IF PLACED ON GA PLANS
- (2) REFER TO AREA CALCULATIONS DIAGRAMS (DA-A-800) FOR GFA CALCULATIONS

DOCUMENT

LEVEL 0 & 1,2,3

DOCUMENT

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

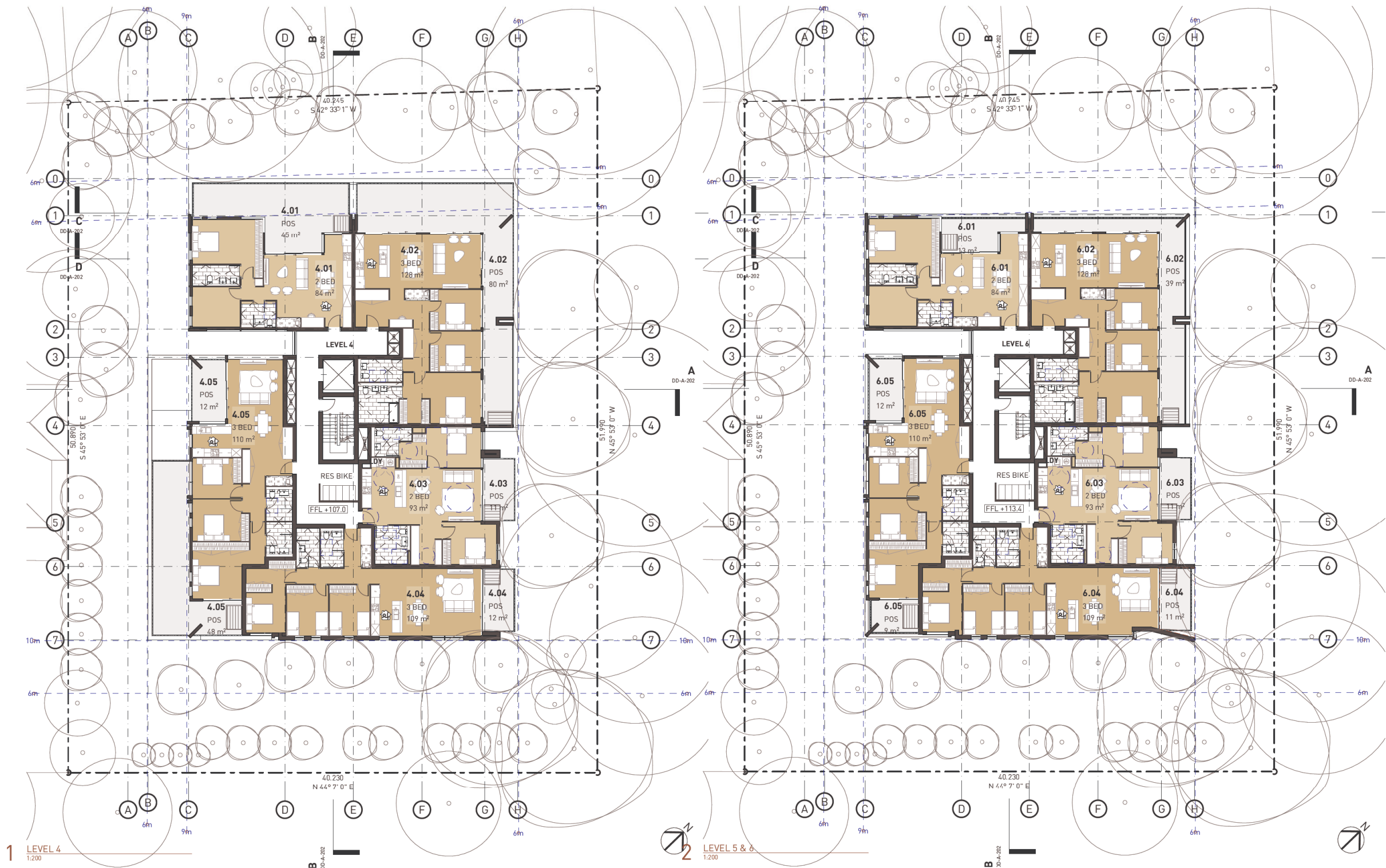
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ARCHITECTURE URBAN PLANNING

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DOCUMENT
LEVEL 4,5,6,

DOCUMENT
FOR APPROVAL

REV A 16/04/2025 MODEL 25_003 Model-DD

STAGE
DEVELOPMENT APPLICATION

PROJECT
Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

STAGE
DEVELOPMENT APPLICATION

CLIENT Developcorp Constructions Pty Ltd

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
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smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

SMITH & TZANNES

25_003 DA-A-102

Aspire Sustainability Consulting BASIX Specifications		Certificate No:	1792308M	
P053012 18 - 20 Roseville Ave Roseville 2069		Project Score	Compliance	
Water	4.0	4.0	Pass	
Energy	6.0	6.0	Pass	
Thermal Comfort		Pass	Pass	
Material		N/A	N/A	
Minimum Glazing Performance Requirements - Typical Glazing for All Levels				
Performance (Total System)		Description	Comment	Location
aU4.29 SHGC0.42±5%		Double Glazed, Light Tint / Clear	Awning Glazing & Double Hung Glazing	All Dwellings unless specified otherwise
aU3.78 SHGC0.54±5%		Double Glazed, Light Tint / Clear	Sliding Doors & Fixed Glazing	All Dwellings unless specified otherwise
Minimum Glazing Performance Requirements - Glazing Performance Uplift				
Performance (Total System)		Description	Comment	Location
aU3.80 SHGC0.40±5%		Double Glazed, Light Tint / Clear	Awning Glazing & Double Hung Glazing	Units - 1.07, 4.01, 5.01, 6.01, 4.05, 5.05, 6.05
aU3.00 SHGC0.45±5%		Double Glazed, Light Tint / Clear	Sliding Doors & Fixed Glazing	Units - 1.07, 4.01, 5.01, 6.01, 4.05, 5.05, 6.05
Minimum Insulation Performance Requirements:				
Construction Element		Additional Insulation		
Concrete Roof		Waterproof membrane & ≥R6.00 reflective insulation above ceiling, reflective side down - Unit - 6.05 & ≥R2.50 reflective insulation above ceiling, reflective side down - All Other Exposed Roofs		
Light Colour Roof				
External Walls		Brick Veneer		
Face Brick - Medium Colour		≥R2.00 reflective insulation, reflective side to air gap.		
External Walls		Terracotta Shingles Cladding		
Medium Colour		≥R2.50 reflective insulation, reflective side to air gap.		
External Walls		Metal Cladding		
Medium Colour		≥R2.50 reflective insulation, reflective side to air gap.		
Floor Slab		Suspended Slab over Unconditioned Below		
Suspended Slab over Unconditioned Below		≥R2.00 in direct contact with Slab Soffit - 1.07		
Suspended Slab over Exposed Below		≥R1.50 in direct contact with Slab Soffit - All Other Exposed Floor Areas		
Internal Walls		≥R1.30 insulation around Laundry, Bathroom and Ensuite - 4.05, 5.05, 6.05 No insulation to other internal wall areas.		
Inter-Tenancy Walls		≥R0.70 x 2 insulation between Unit and Unit (installed to either side of wall)		
Shared Walls to Risers and Core		≥R1.30 insulation between Unit and Common Corridor - 3.07, 4.05, 5.05, 6.05 ≥R0.70 insulation between Unit and Common Corridor - All Other Dwellings No insulation to Shared Core		
Floor Coverings		Tile to Wet Rooms Carpet and Underlay to Bedrooms Timber to All Other Areas		
Ceilings		Plasterboard Ceilings		
Ceiling Penetrations		No RCPS provided with current assessment. Following assumptions have been made: - 1 x LED Downlight allocated per 5m ² - 1 x Exhaust Fan per wet area and kitchen		
Ceiling Fans		1 x 1200mm Ceiling Fan to Living room - 4.05, 5.05, 6.05		
Other Modelling Assumptions				
All modelled downlights are assumed to be Sealed LEDs, with insulation clearance of 150mm to either side of fixture All glazing where there is fall risk to have window restrictors installed.				
Summary of Requirements - Common Areas				
Category	Item	Comment		
Water	Fixtures	4 Star toilets 4 Star taps No Common shower		
	Appliances	No common laundry		
	Hot Water	Electric Heat Pump R0.6 Piping insulation internal and external to building 3.5 - COP ≤ 4.0		
	Landscape - Common	180.83 m ² Common area lawn 724.05 m ² Common area garden 24 m ² Area of indigenous or low water use species		
	RW Tank	No RW Tank allocated for this project.		
	Fire Sprinkler System	No Fire Sprinkler System Nominated		
Energy	Pool	No Pool		
	Lighting Type	LED required throughout		
	Lighting Control	Please refer to BASIX Report for detailed requirements		
	Ventilation			
	Lifts	1 No. Gearless traction with VVVF motors required ≥1,001 kg but <1,500 kg		
	Other	No Pool No Solar PV required for this project No BMS No indoor or outdoor drying line No common laundry No common clothes dryer		
Summary of Requirements - Residential Dwellings				
Category	Item	Comment		
Water	Fixtures	4 Star showers (≥6.0 ± 7.5/min) 4 Star toilets 4 Star kitchen taps 4 Star bathroom taps No HW recirculation on demand		
	Appliances	4 Star dishwasher 4 Star washing machine		
	Exhaust Fans	Kitchen, Laundry & bathroom fans individually ducted to façade or roof Operation Control - Manual switch on/off		
Energy	HVAC	3-phase air conditioning to Living and Bedroom areas EER 3.5-4.0		
	Lighting	Sealed LED lighting throughout		
	Hot Water	Central hot water system: Heat pump		
	Appliances	Induction cooktop & electric oven 4 Star dishwasher No clothes dryer		
	Other	No Indoor clothes drying line provided Private outdoor clothes drying lines are provided		

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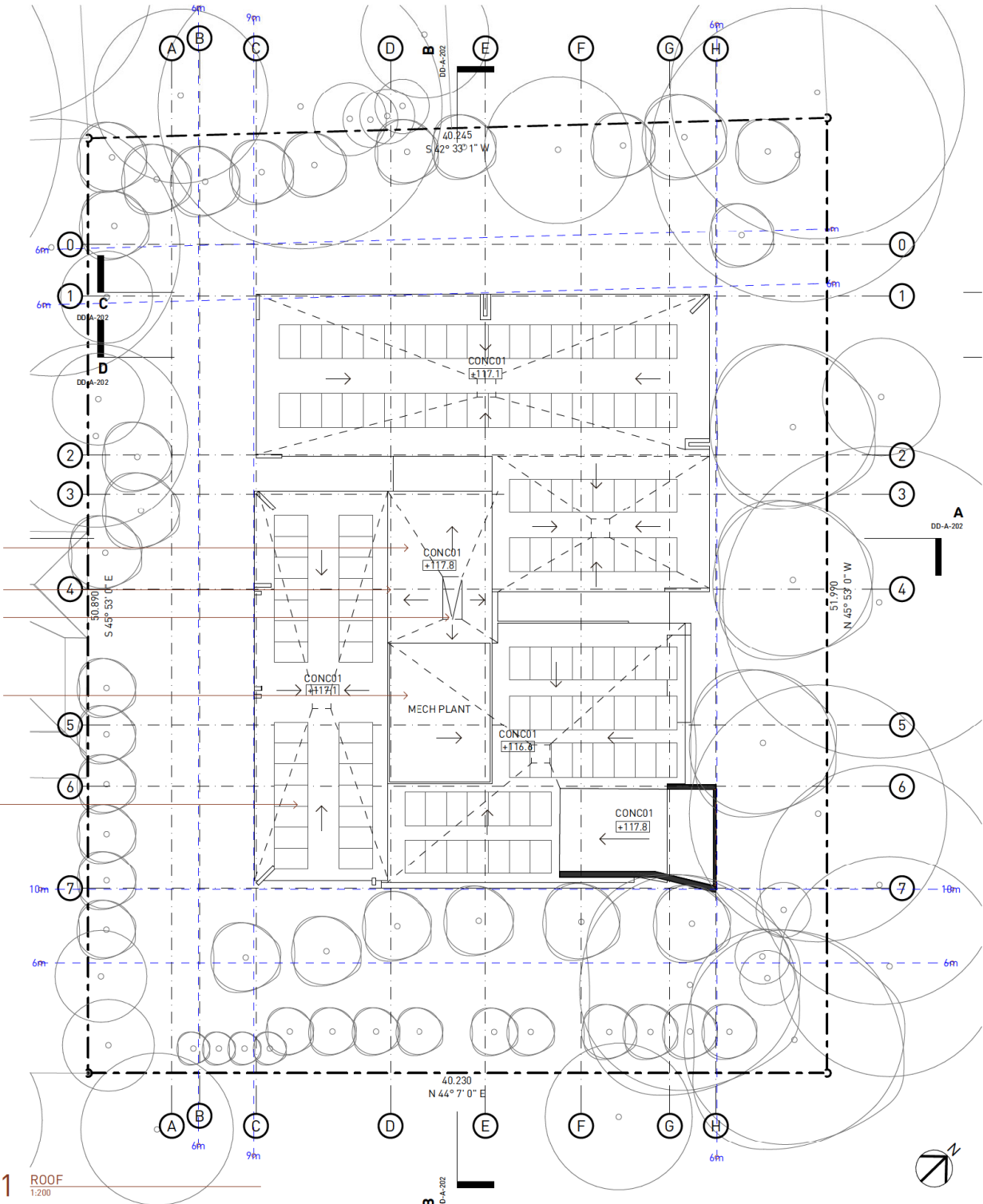
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- LIFT OVERUN INTEGRATED TO ROOF DESIGN
- MECH EXHAUST TO VENT THROUGH UPPER WALL
- ROOF ACCESS HATCH WITHIN FIRE STAIR
- MECHANICAL PLANT FOR RESIDENT AC SPLIT BETWEEN BASEMENT AND ROOF. PLANT AREA TO BE SCREENED AND INTEGRATED TO ROOF DESIGN AS SHOWN
- SOLAR PANELS BY OTHERS



DOCUMENT

ROOF

DOCUMENT

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

CLIENT

Developcorp Constructions Pty Ltd

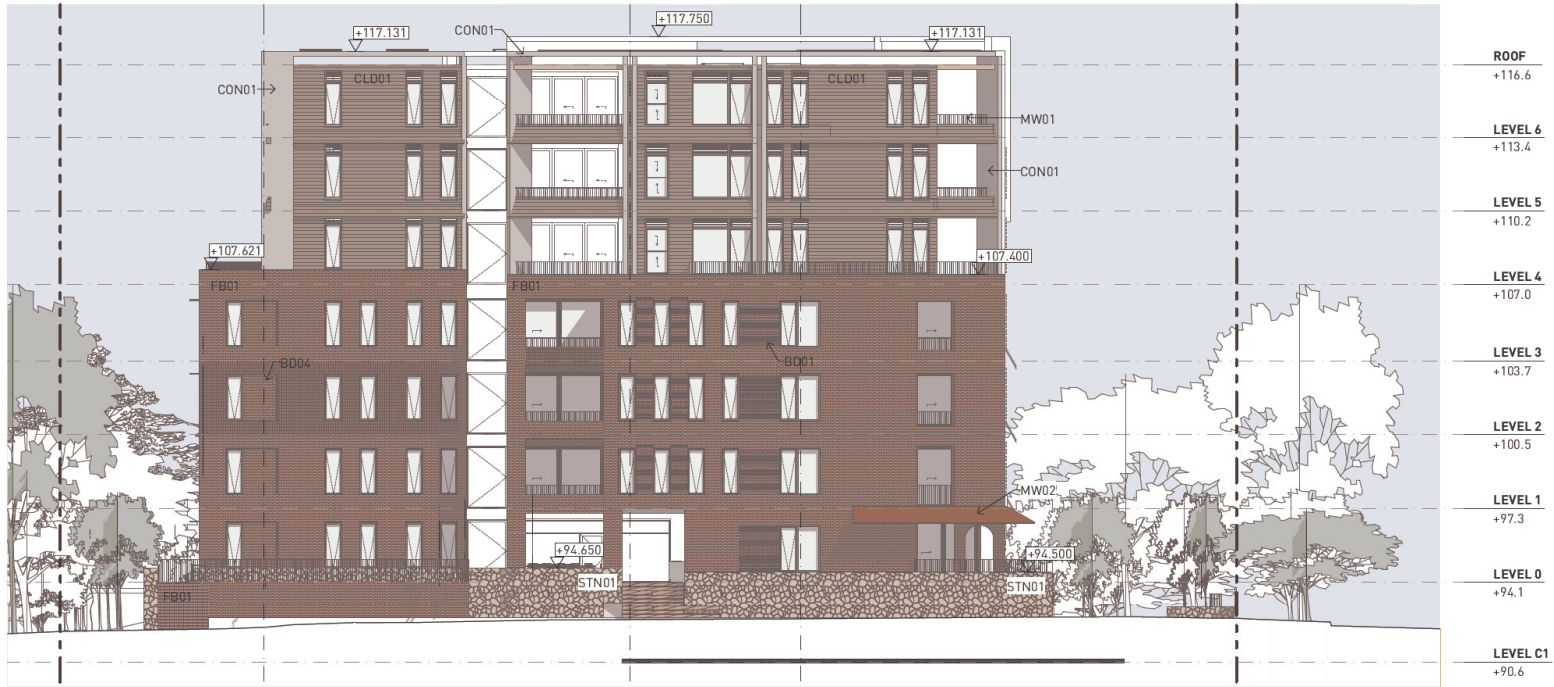
ARCHITECTURE URBAN PLANNING

M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 ROSEVILLE AVE ELEVATION
1:200



4 SOUTH WEST ELEVATION
1:200

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DOCUMENT

ELEVATIONS

DOCUMENT

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

CLIENT

Developcorp Constructions Pty Ltd

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25_003 DA-A-200



1 NORTH WEST ELEVATION
1:200



2 TRAFALGAR AVE ELEVATION
1:200

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DOCUMENT
ELEVATIONS

DOCUMENT
FOR APPROVAL

REV A 16/04/2025 MODEL 25_003 Model-DD

STAGE
DEVELOPMENT APPLICATION

PROJECT
Roseville Ave Apartments

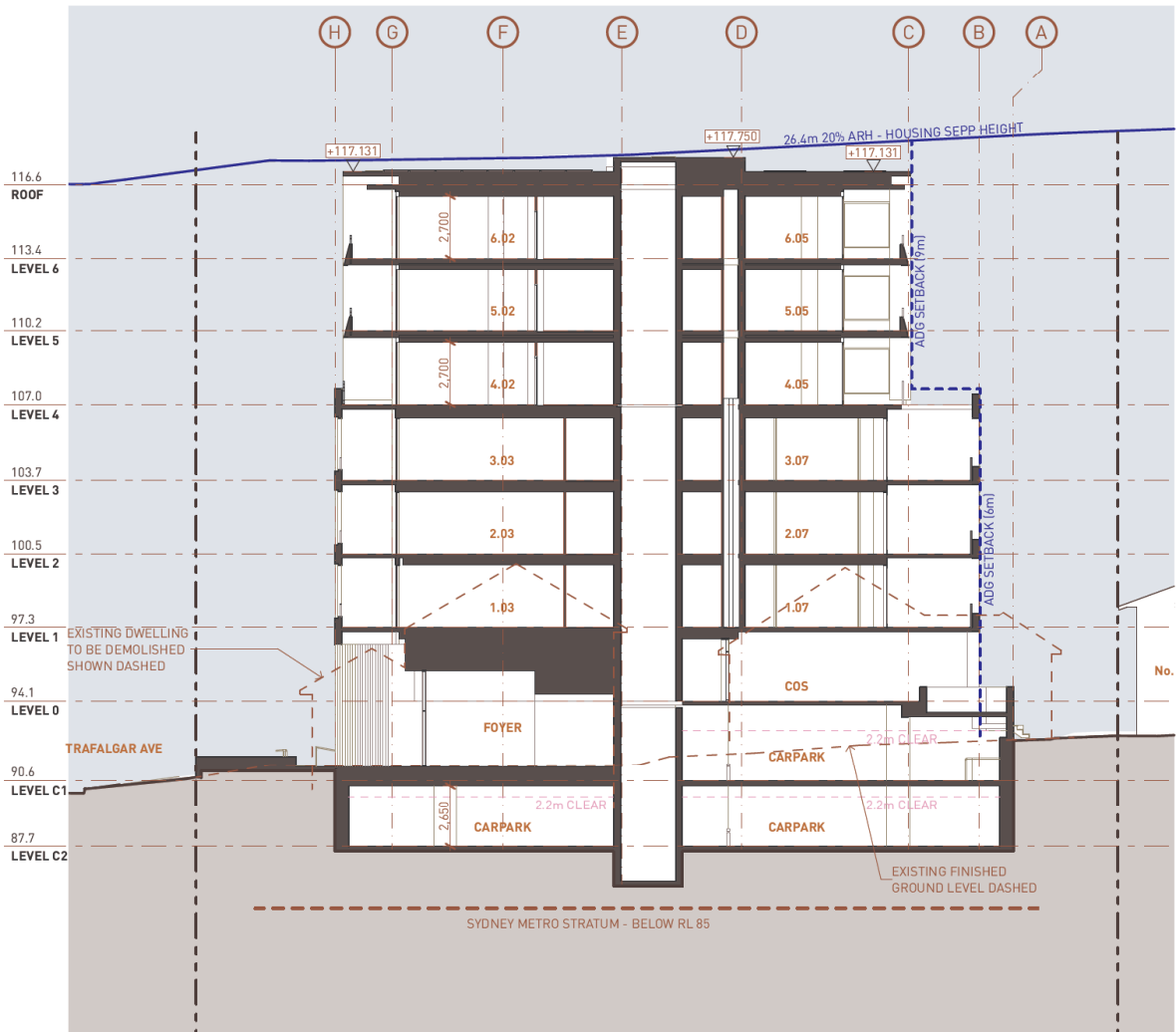
18 - 20 Roseville Avenue Roseville

CLIENT Developcorp Constructions Pty Ltd

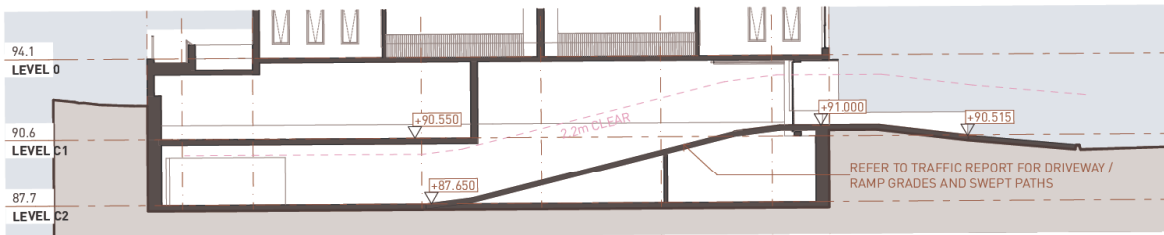
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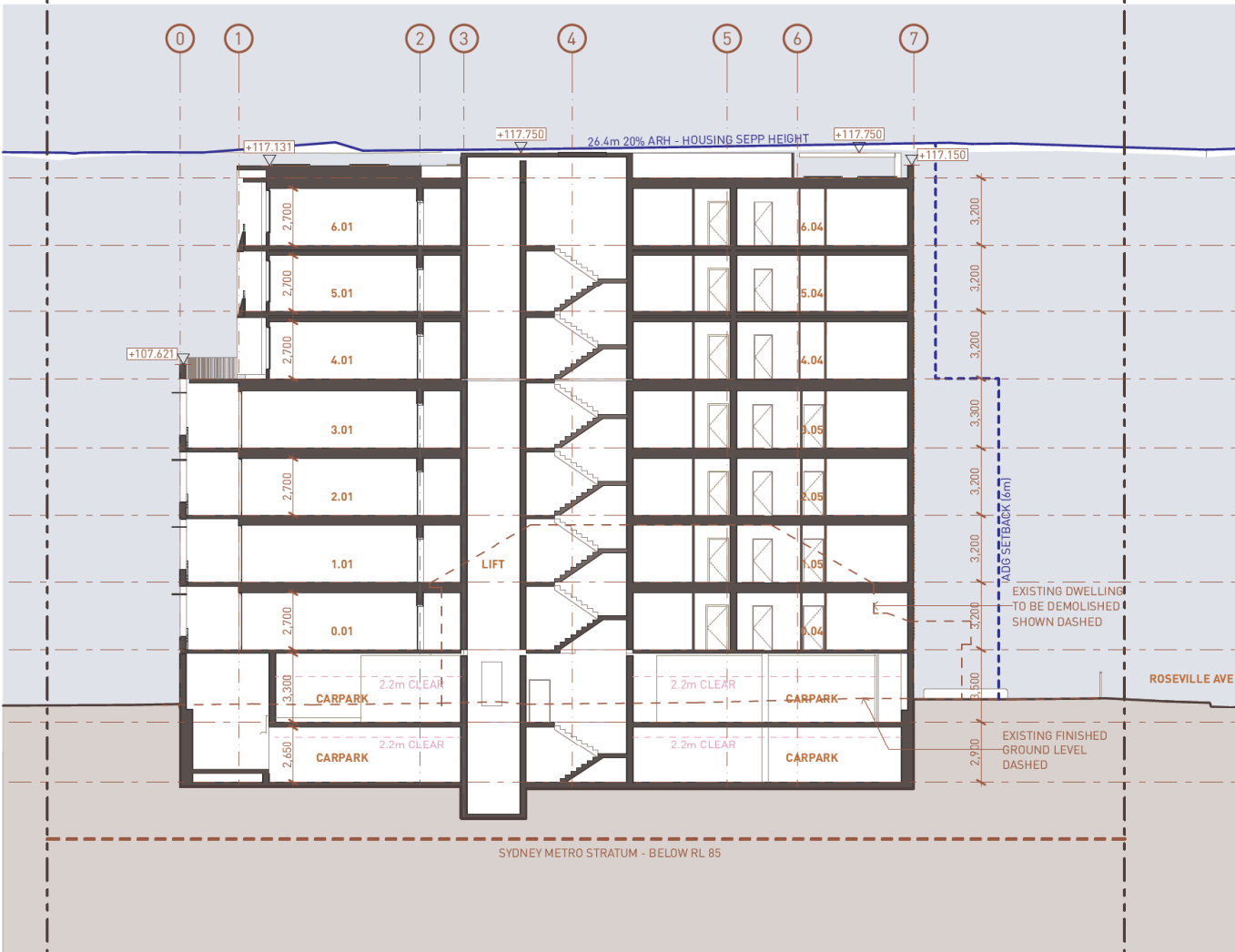
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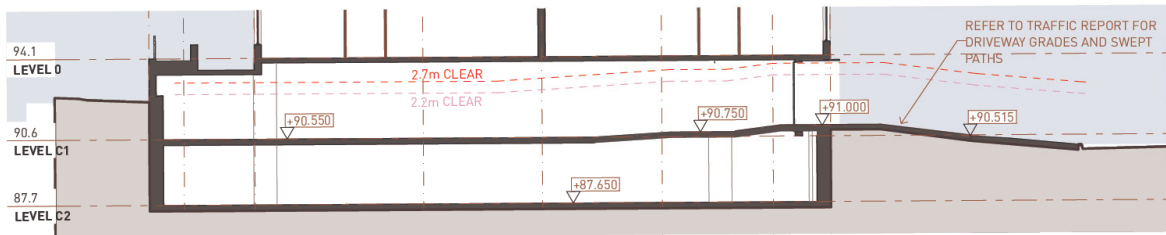
1 SECTION A
1:200



3 SECTION C
1:200



2 SECTION B
1:200



4 SECTION D
1:200

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DOCUMENT

SECTIONS

DOCUMENT

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue Roseville

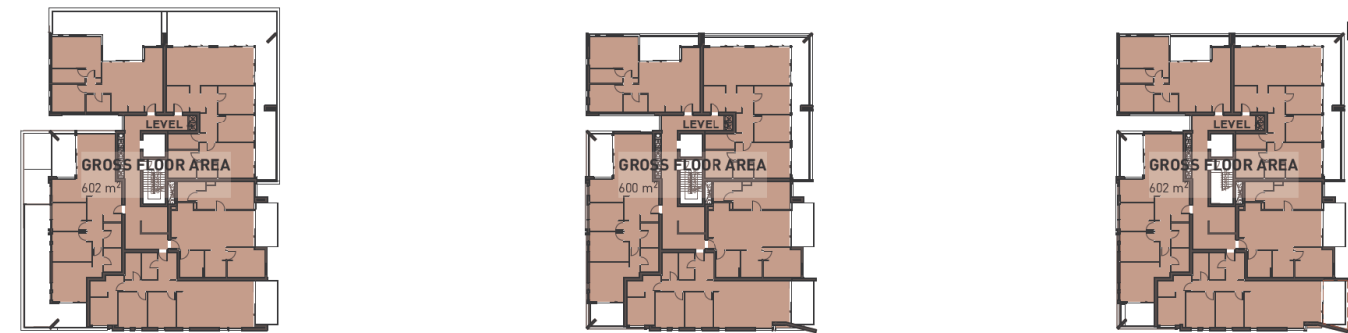
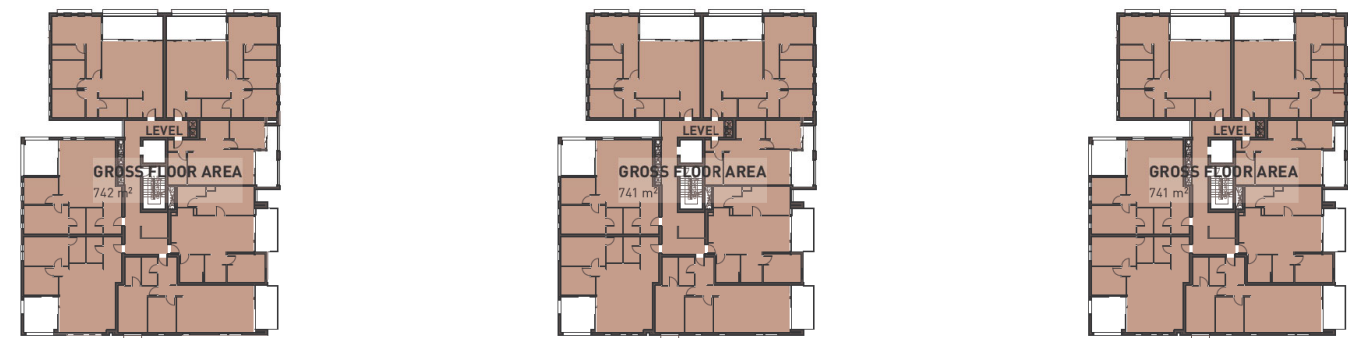
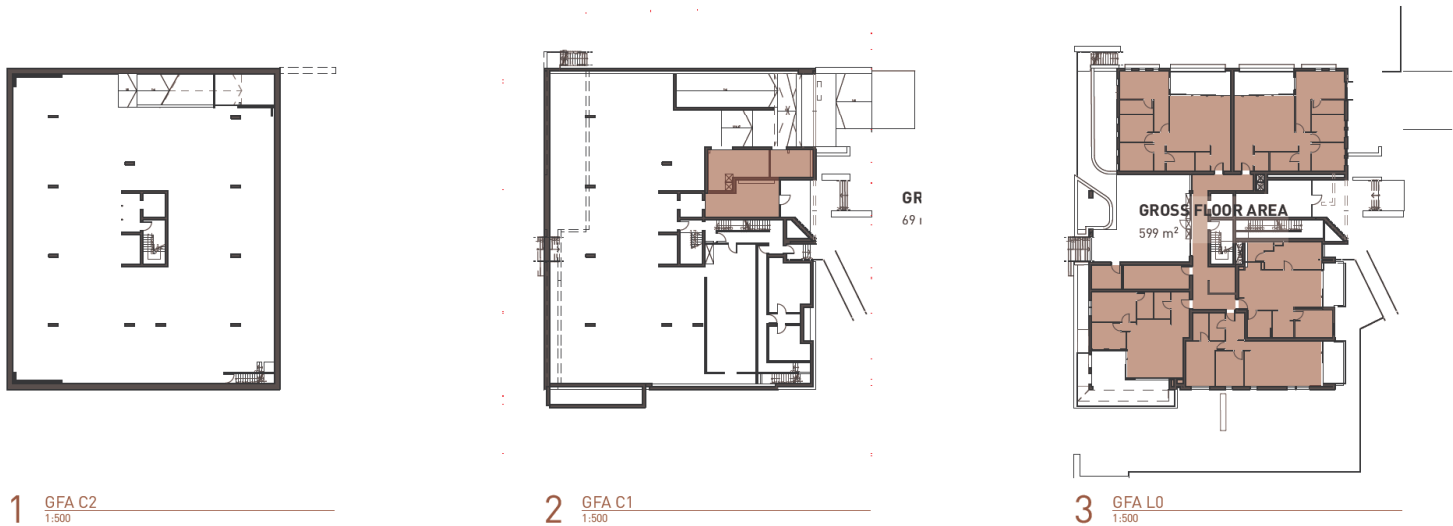
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GFA Schedule

TYPE	LEVEL	ARE
GROSS FLOOR AREA	LEVEL C1	69
	LEVEL 0	599
	LEVEL 1	742
	LEVEL 2	741
	LEVEL 3	741
	LEVEL 4	602
	LEVEL 5	600
	LEVEL 6	602
		4,696
SITE AREA		2069m²
FSR		2.27:1

VERSION

FOR APPROVAL

REV A 16/04/2025

MODEL 25_003 Model-DD

DOCUMENT

AREA CALCULATIONS

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue
Roseville

Developcorp Constructions Pty Ltd

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25_003 DA-A-800

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KEY POINTS

ADG CONTROL (1)
Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area

No. Apartments	41
Req (>2h)	29
Proposed (>2h)	31

ADG CONTROL (2)
A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter

No. Apartments	41
Max (0h)	6
Proposed (0h)	6

VERSION

FOR APPROVAL

REV A 16/04/2025 MODEL 25_003 Model-DD

DOCUMENT
SOLAR CALCULATIONS

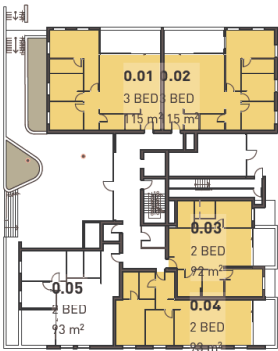
STAGE
DEVELOPMENT APPLICATION

PROJECT
Roseville Ave Apartments

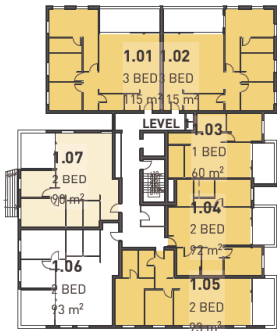
18 - 20 Roseville Avenue
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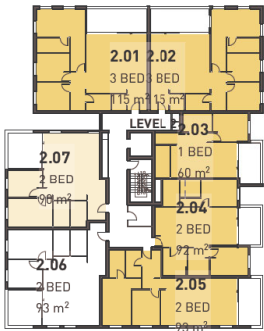
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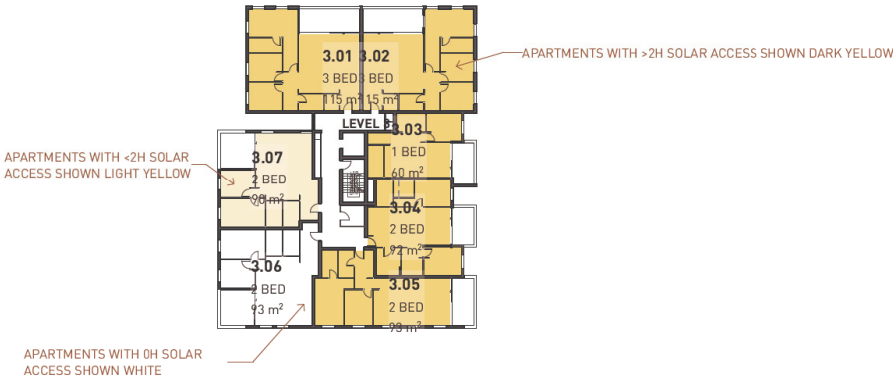
1 SOLAR L0
1:500



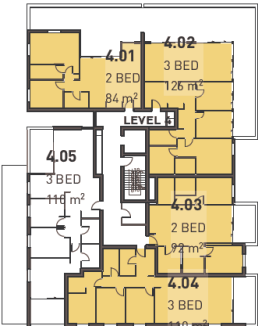
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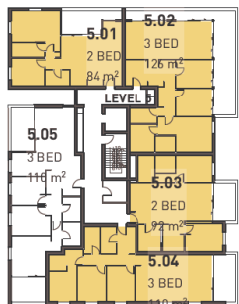
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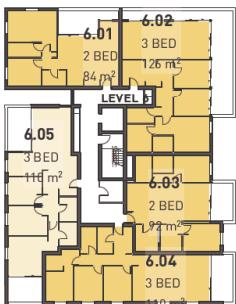
4 SOLAR L3
1:500



5 SOLAR L4
1:500



6 SOLAR L5
1:500



7 SOLAR L6
1:500

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10
MAY 2025
1:500
10/05/2025



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LEGEND
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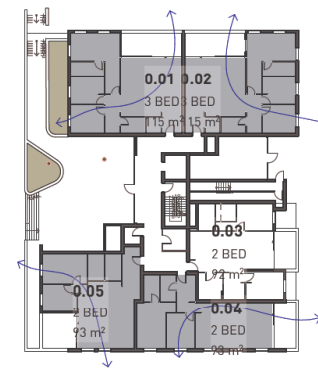
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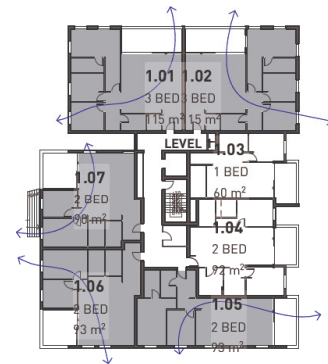
KEY POINTS

ADG CONTROL (1)
At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed

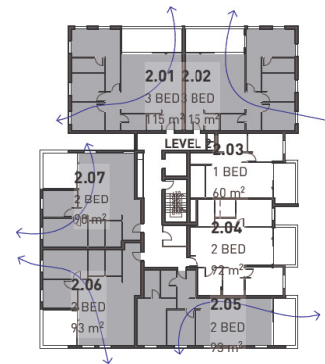
No. Apartments	41
Req (>2h)	25
Proposed (>2h)	31



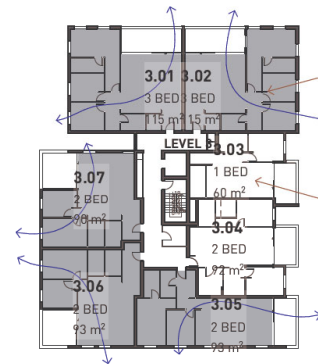
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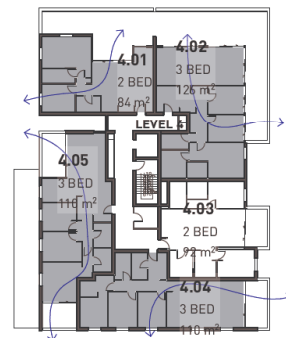
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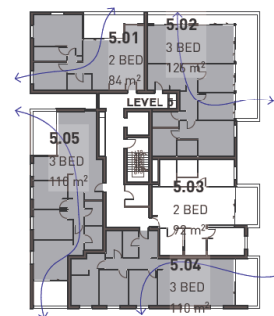
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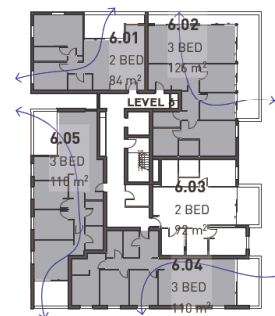
4 CROSS VENTILATION L3



5 CROSS VENTILATION L4



6 CROSS VENTILATION L5



7 CROSS VENTILATION L6

VERSION

FOR APPROVAL

REV A 16/04/2025 MODEL 25_003 Model-DD

DOCUMENT

CROSS VENTILATION CALCULATIONS

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue

Roseville

Developcorp Constructions Pty Ltd

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtannes.com.au
smithtannes.com.au
Nominated Architect: Peter Smith ARN 7024



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ARH SEPP CONTROL - DEEP SOIL
Deep soil zone to be at least 15% of site area with a min dimension of 3m and 65% located at the rear of the site.

ADG CONTROL - COS (1)
Communal open space has a minimum area equal to 25% of the site

ADG CONTROL - COS (2)
Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June

COS Proposed (m ²)	523
Req >2h (50%) (m ²)	261
Proposed (m²)	297

VERSION

REV A 16/04/2025

MODEL 25_003 Model-DD

DOCUMENT

STAGE

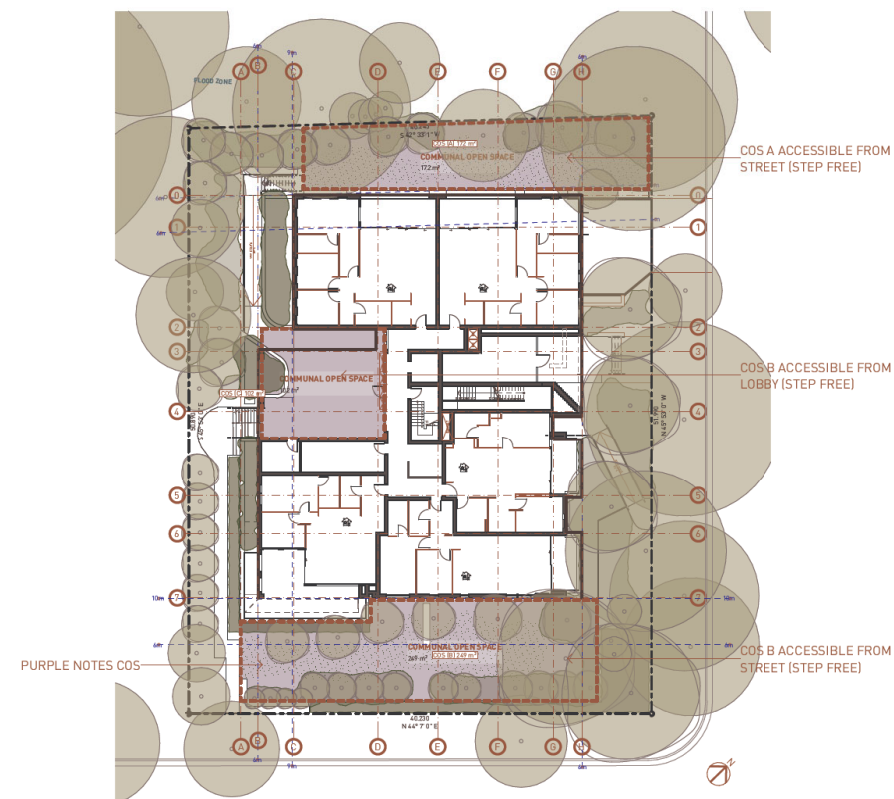
PROJECT

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1 COMMUNAL OPEN SPACE - LEVEL 0 (1)

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KEY

- Shadow cast when project is complete
- Additional shadow cast by proposal
- Project boundary

VERSION

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REV A 16/04/2025

MODEL 25_003 Model-DD

DOCUMENT

SHADOWS - WINTER SOLSTICE

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

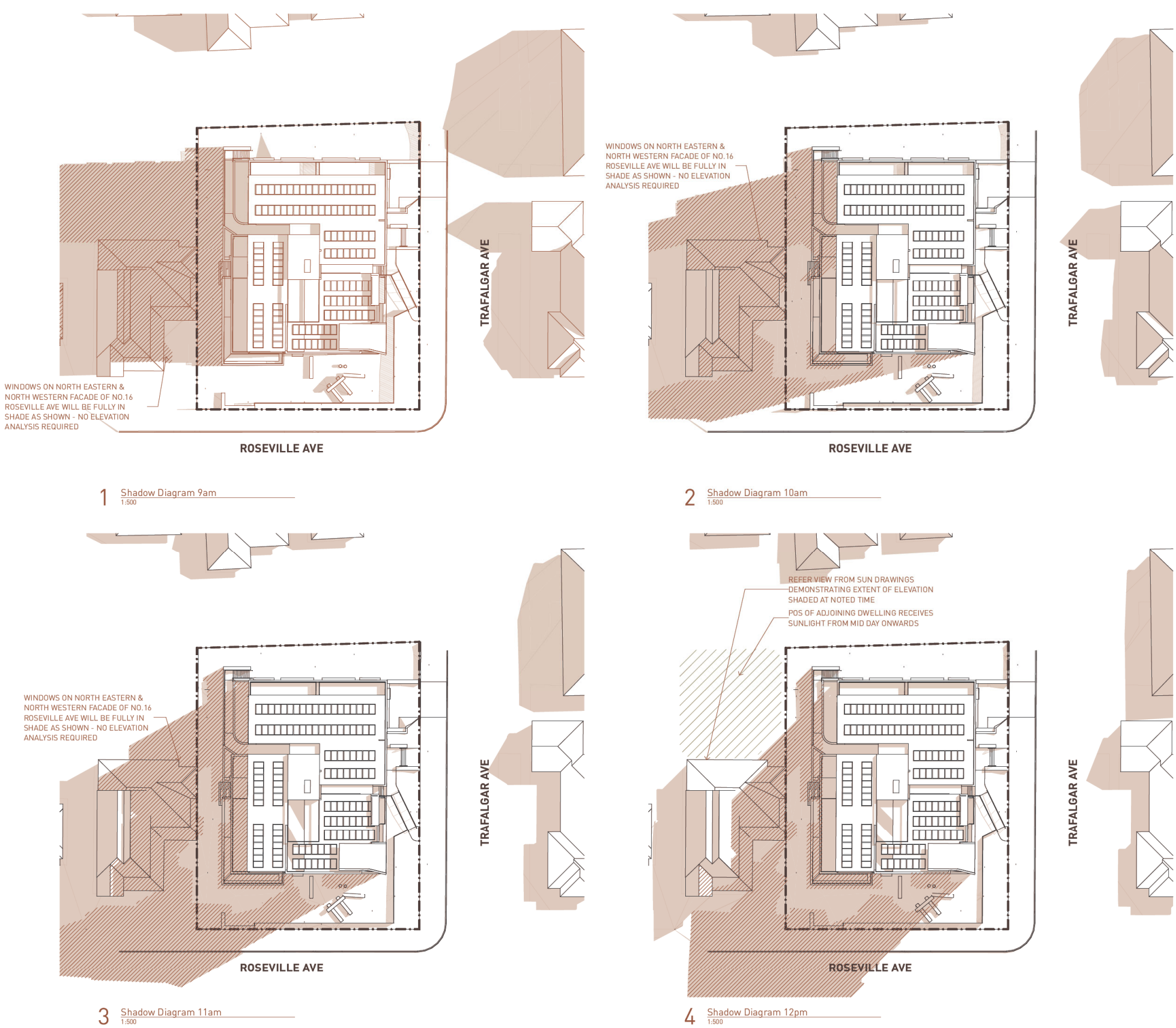
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Roseville

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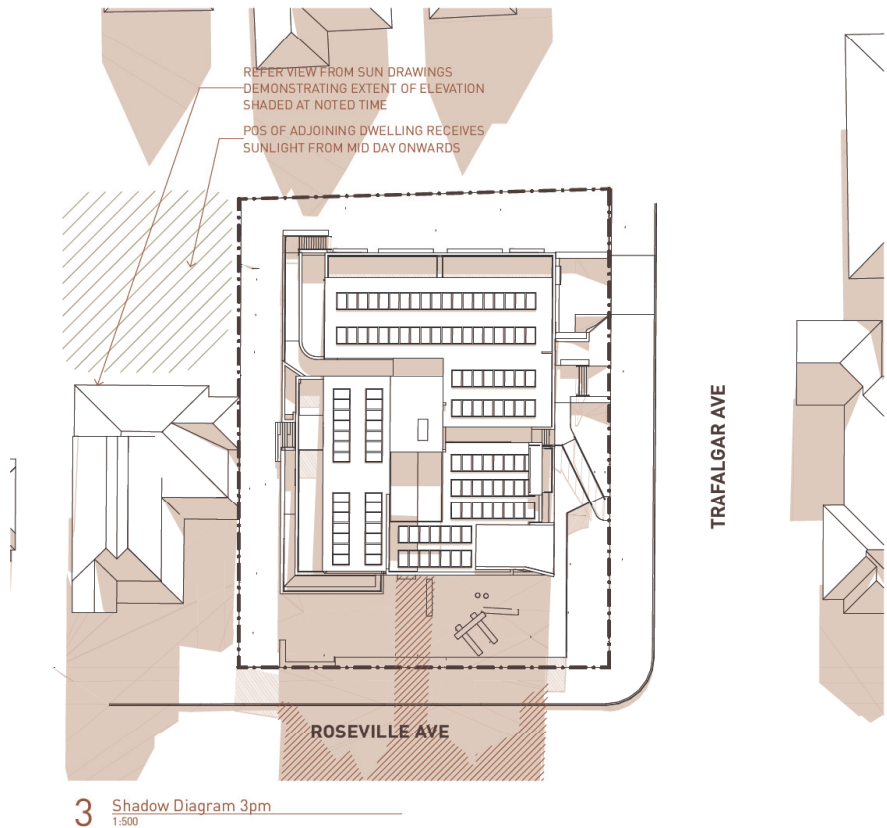
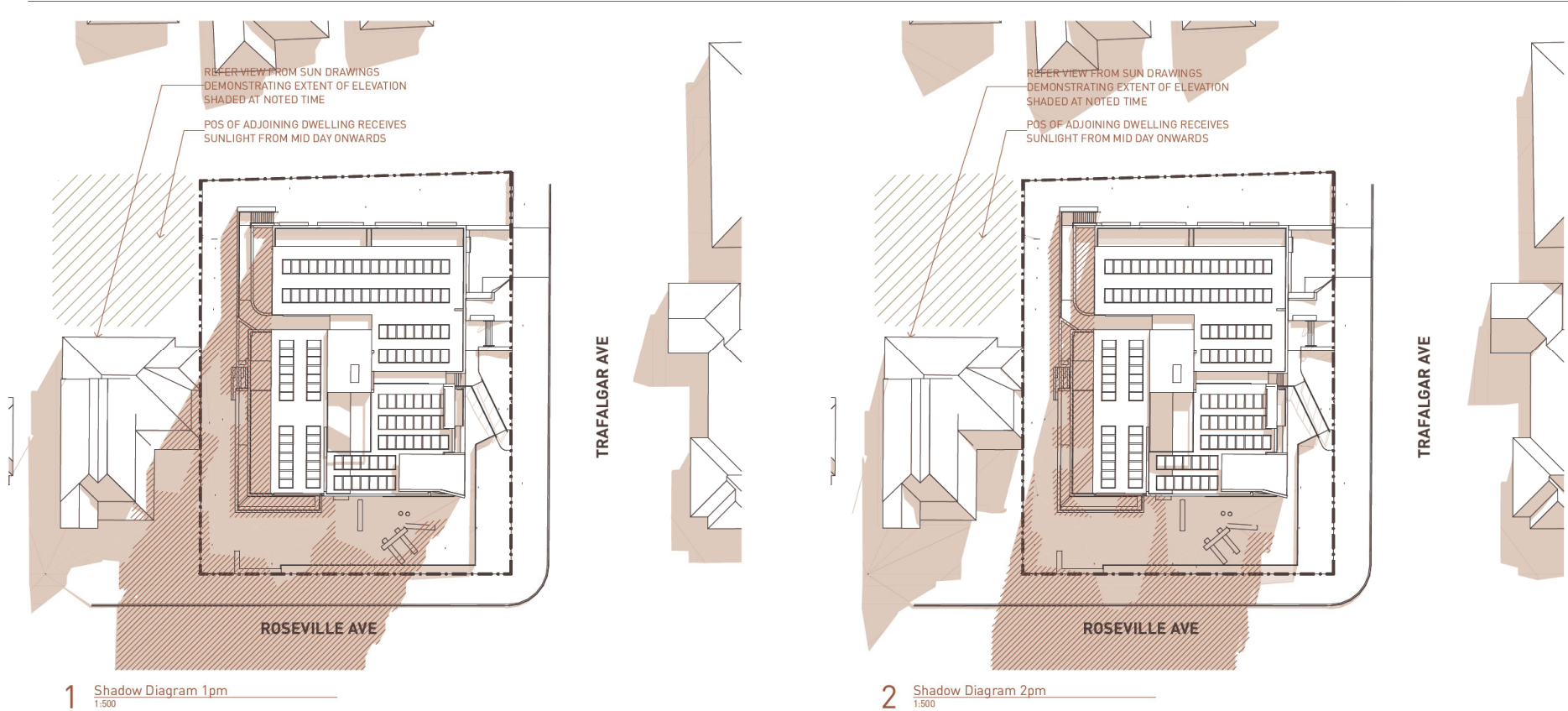
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- Additional shadow cast by proposal
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REV A 16/04/2025

MODEL 25_003 Model-DD

DOCUMENT

SHADOWS - WINTER SOLSTICE

STAGE

DEVELOPMENT APPLICATION

PROJECT

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18 - 20 Roseville Avenue
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25_003 DA-A-851

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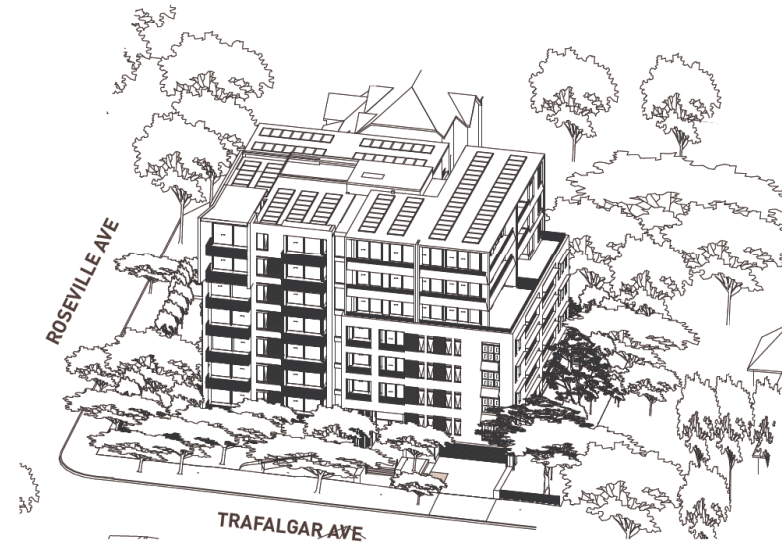
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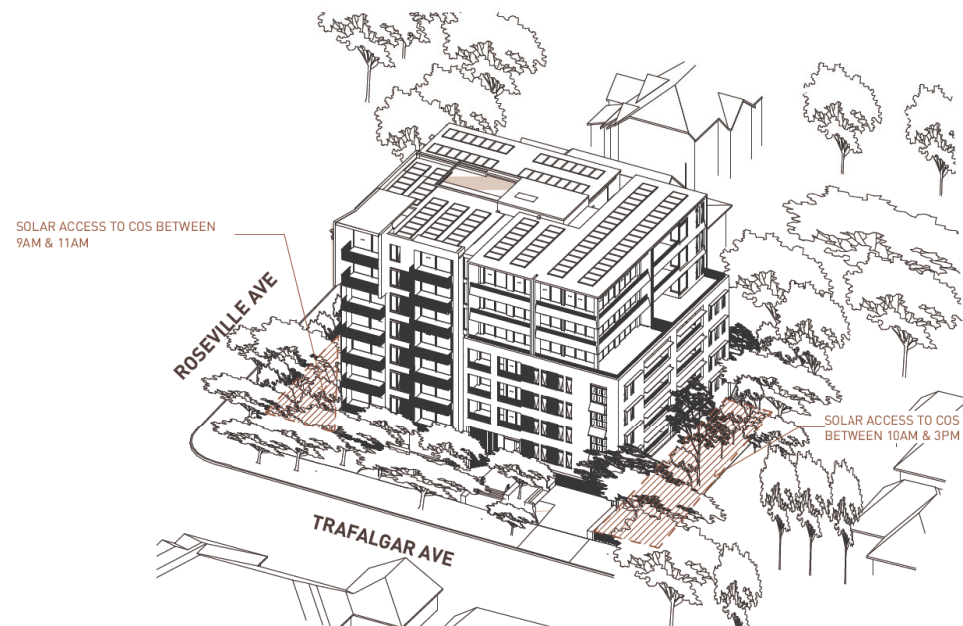
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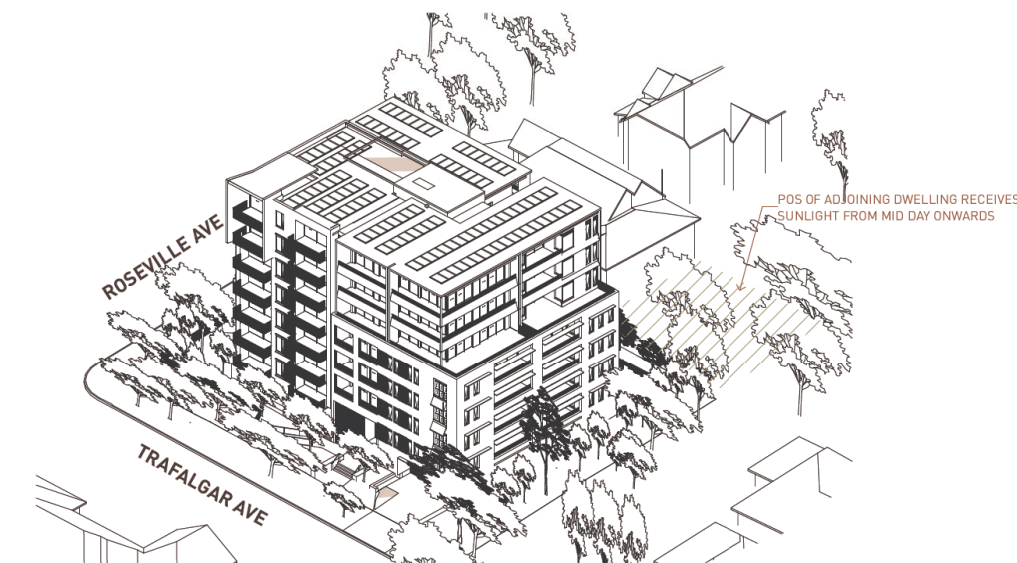
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1:500



2 View from the sun 10am
1:500



3 View from the sun 11am



4 View from the sun 12pm
1:500

VERSION

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REV A 16/04/2025 MODEL 25_003 Model-DD

MODEL 25_003 Model-DD

DOCUMENT

VIEW FROM SUN

STAGE

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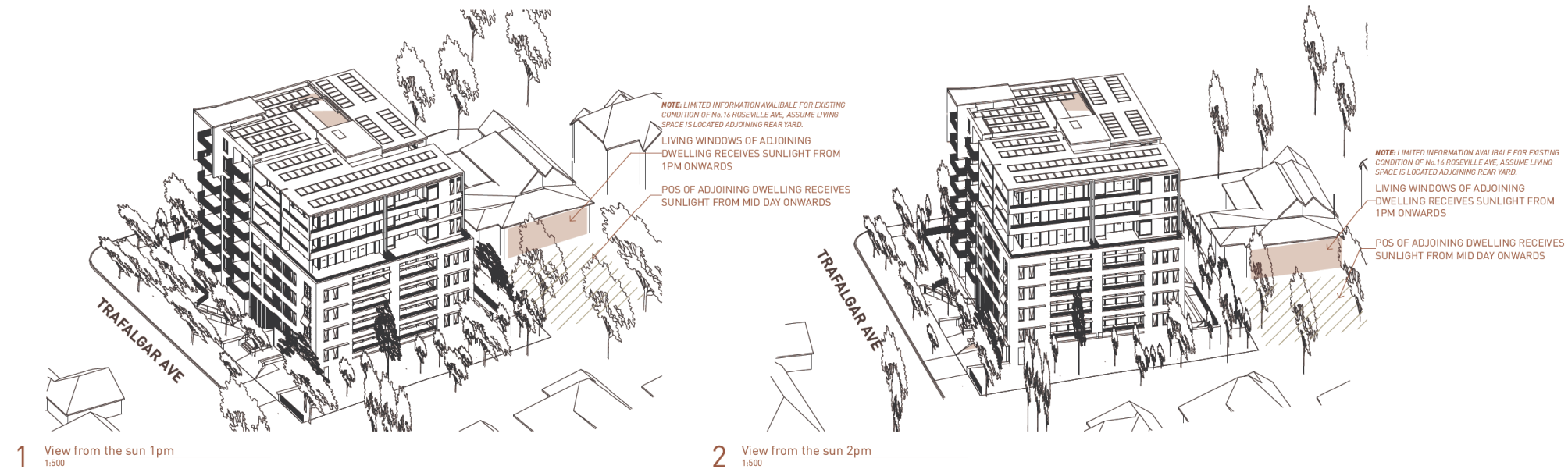
STZ
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 5,000 (1:50)
 10,000 (1:100)





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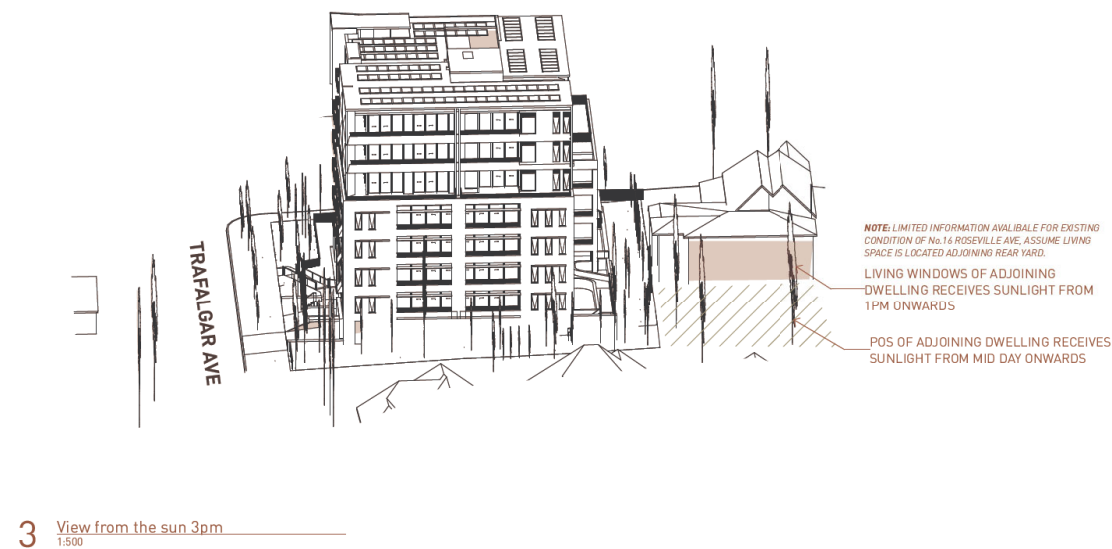
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MODEL 25_003 Model-DD

DOCUMENT

VIEW FROM SUN

STAGE

DEVELOPMENT APPLICATION

PROJECT

Roseville Ave Apartments

18 - 20 Roseville Avenue

Roseville

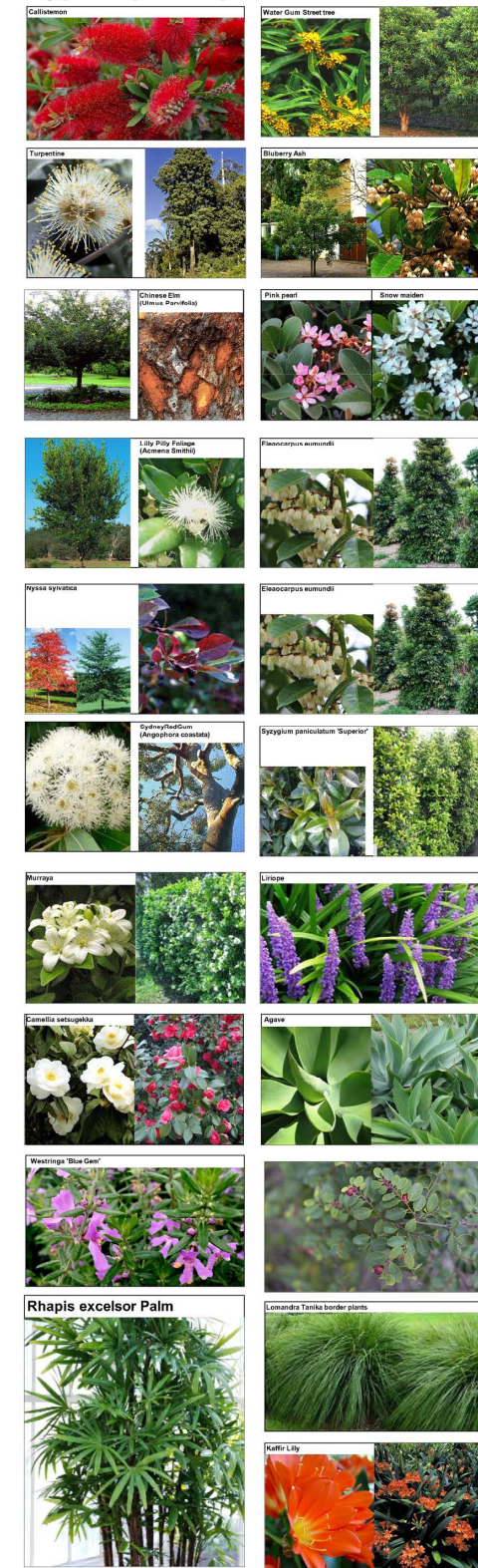
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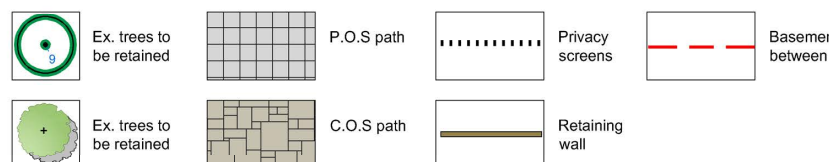
Typical plants palette



Architects:
Smith Tzannes

Stormwater :
Bruce Kenny Hydroco

Arborist report by:
Phil Whitten Tree Survey



Drawing schedule:
Sheet 1: Landscape site plan
Sheet 2: Detail plan 7 Levels
Sheet 3: Planting plan

See Sheet 2 for levels

Amendments

B	8.4.25	For DA
A	5.4.25	Preliminary review



PO Box 4050. ACT 2602
 ABN: 16 949 100 279
 Phone: 02 9907 8011
 www.scrivener-design.com
 Email: paul@scrivener-design.com

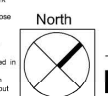
ect: Residential Flat Building
 180-20 Roseville Ave, Roseville. NSW

Dwg: Landscape Site plan

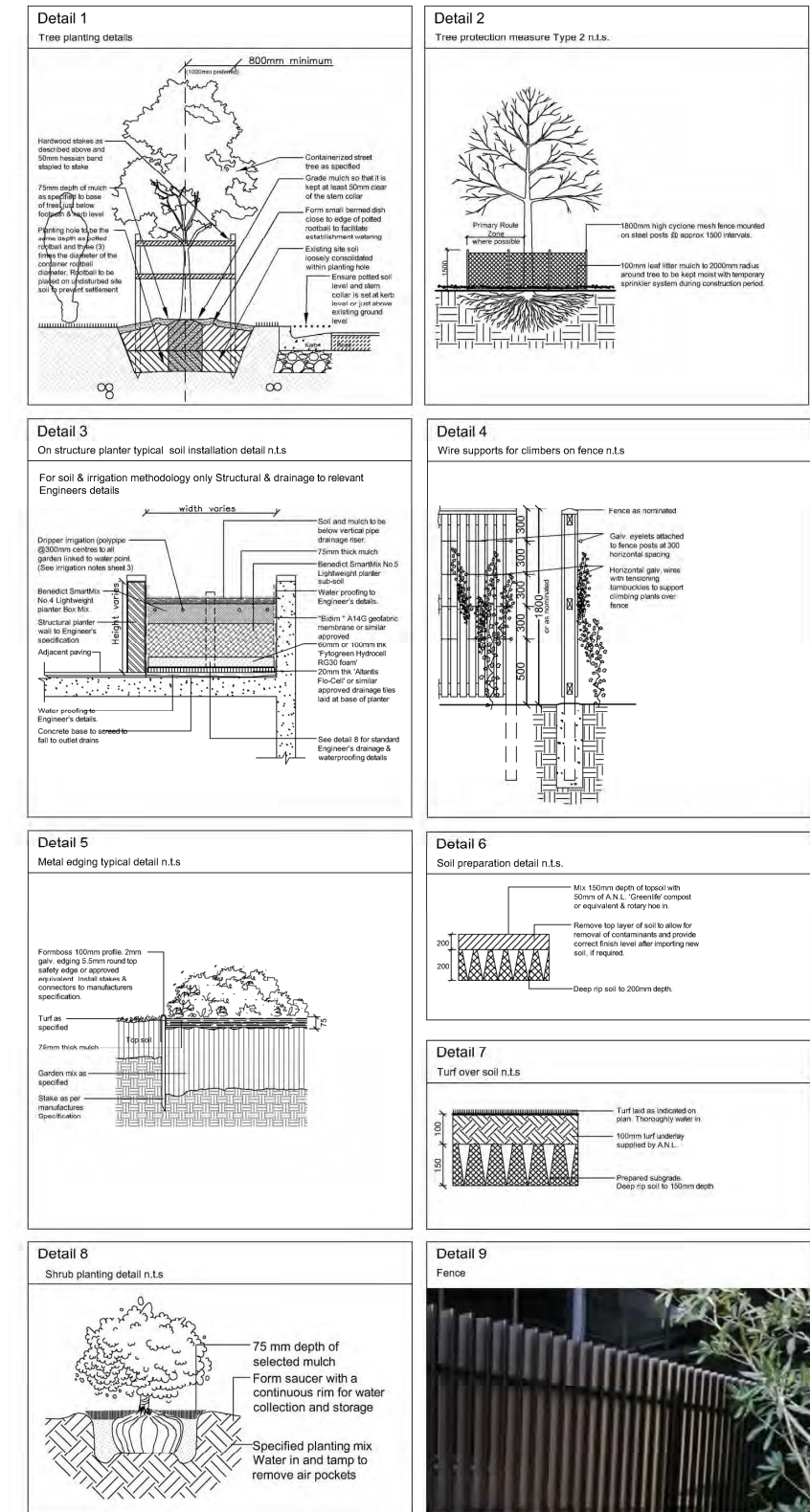
Date:	8.4.25	Scale:	1:150 @A1
Job Ref:	24/2823		

Builder must verify all dimensions of the site before work commences.
Figured dimensions should be used in preference to those scaled off.

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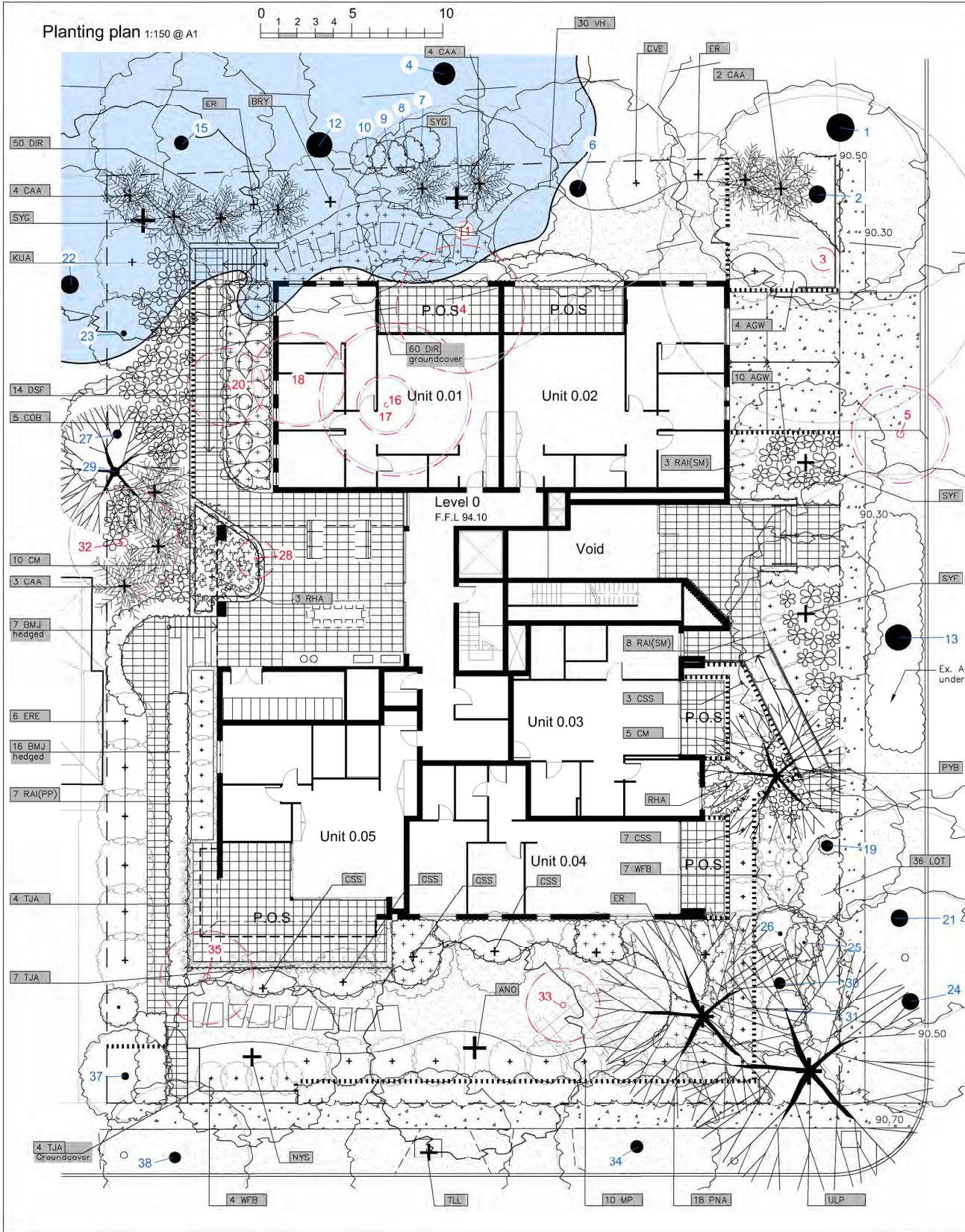
1 of 3
DA
ISSUE-B



Amendments		
B	8.4.25	For DA
A	5.4.25	Preliminary review



2 of 3



Planting schedule

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No. req.
Trees						
ANO	Angophora costata	Sydney Red Gum (large native tree. Striking bark colour)	45L	3x50x50x1800	16-25.0M	1
ER	Elaeocarpus reticulatus	Blueberry Ash (large native tree. Striking bark colour)	45L	3x50x50x1800	6-8.0M	2
ERE	Elaeocarpus eumundi	QLD Condong (native vertical narrow screen tree)	45L	2x50x50x1800	7-10.0M	6
SYF	Waterhousea floribundum	Weeping Lilly Pilly (native screen tree)	75L	3x38x38x1800	10-15.0M	2
SYG	Synsphaera gummifera	Turpentine (indigenous canopy tree)	75L	3x50x50x1800	18-25.0M	2
NYS	Nyssa sylvatica	Tupelo (bright red autumn foliage)	75L	3x50x50x1800	11-13.0M	1
PVB	Pyrus calleryana 'Capital'	Ornamental Pear (medium deciduous narrow tree)	75L	2x50x50x1800	10-15.0M	1
TLL	Tristanopsis laurina 'Luscious'	Water Gum cutleria (indigenous small red tree)	75L	3x50x50x1800	5-7.0M	1
ULP	Ulmus parvifolia	Chinese Elm (weeping branches deciduous tree)	75L	3x50x50x1800	8-12.0M	1
Shrubs / standards / small feature trees						
BMJ	Buxus microphylla Japonica	Japanese Box Hedge (formal low hedging plant)	200mm	nil	0.4-1.2M	23
BRY	Breynia oblongifolia	Coffee Bush	300mm	nil	3.0M	1
CSS	Camellia sasanqua	Camellia sasanqua (semi hedged Camellia)	300mm	2x50x50x1800	2-2.5M	15
CVE	Callistemon citrinus 'Endeavour'	Endeavour Crimson Bottlebrush (flowering native small tree)	300mm	nil	2-3.0M	1
KUA	Kunzea ambigua	Tick Bush (flowering native shrub)	200mm	nil	2-3.0M	2
MP	Murraya paniculata	Orange Jessamine (flowering screening plant)	300mm	hedged	2.5-3.0M	10
RAI (PP)	Raphiopholis indica PP	Pink Pearl (hedging dense flowering plant)	300mm	nil	1.0M	7
RAI (SM)	Raphiopholis indica SM	Snow Maiden (hedging dense flowering plant)	300mm	nil	1.0M	11
WFB	Westringia fruticosa 'Blue Gem'	Dwarf Blue Westringia (hardy low growing plant)	200mm	hedged	1.2-1.5M	11
Ferns / Palms / Succulents / shade tolerant understory						
CAA	Cyathea australis	Black Tree Fern (Native tree ferns)	300mm	nil	2-4.0M	13
COB	Colocasia var antiquorum	Imperial Taro (tropical large glossy leaves)	200mm	nil	5	
RHA	Raphis excelsior	Lady Finger Palm	300mm	nil	2-2.5M	4
Groundcovers/Climbers						
DIR	Dichondra repens	Kidney weed (native carpet groundcover)	tubes	nil	0.1M	50
DSF	Dichondra 'Silver Falls'	Silver Falls (cascading groundcover in roof garden)	200mm	nil	0.15M	14
TJA	Trachelospermum asiaticum	Flatmat Star Jasmine (C10) (obovate hybrid groundcover)	200mm	nil	0.2M	15
VH	Viola hederacea	Native Violets (native low groundcover)	tubes	nil	0.1M	30
Ornamental grasses/strappy leaved plants						
ACW	Agapanthus orientalis 'Blue'	Blue Lily of the Nile (lardy strappy leaved groundcover)	200mm	nil	0.6M	14
CM	Clivia miniata	Red Clivia (shade tolerant groundcover)	200mm	nil	0.5M	15
LOT	Lomandra Tanika	Dwarf Lomandra (ornamental grass)	140mm	nil	0.4M	36
PNA	Pennisetum alopecuroides Nafraz/NAFRAY® 'PA300' PBR	(flowering ornamental grass)	140mm	nil	0.8-1.0M	18

All trees to be provided with written confirmation from the supplier for compliance to Natspec guidelines in compliance with A.S. 2003:2018. Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible.

Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found.

Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that meets the specific development consent conditions of the approved development.

Underlined bold text tree symbols indicate species capable of attaining 13metres

Italics indicate part of STIF species assemblage

Irrigation notes

Automatic drip line watering system to be selected. To extend to ALL garden areas nominated on the deep soil and planter box areas and is to include all raised planter boxes over slab. (all lawn areas to be excluded). Water supply tap hoses/cocks as indicated on CC stage drawings. To be coordinated with Hydraulic and Structural Engineer's details. Drip line supply system only to be incorporated.

Prior to approval by the project manager and prior to installation the Contractor responsible for line irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sensor is installed for common area garden zones connected to timers

Root inhibiting system. Drip lines to be 'Netafim Techline AG XR' drip tubing or approved equivalent

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet Battery timers to isolated planter boxes is acceptable and to be maintained by the owners corporation as part of the ongoing property maintenance.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

Maintenance schedule

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twenty six (26) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the turf when it is established at regular intervals to maintain an average height of 50mm.

The owners of the residence are responsible for the ongoing maintenance and viability of the gardens and ongoing maintenance shall include the following:

- Regular hand watering of gardens if installed drip line irrigation system is turned off. Irrigation to be installed and maintained as per manufacturers specifications including regular checks for function of system, to check for leaks and to ensure general good working operation.
- Mulch is to be regularly topped up every 6 months to ensure an even 75mm coverage in all garden beds
- Regular pruning of plants is to be undertaken to ensure continued uniform growth of canopy and foliage of trees and shrubs.
- Regular assessment of plants for evidence of insect attack or disease. Appropriate pest oil, white oil of Yates pest spray or equivalent is to be employed if required
- Garden/lawn edging to be inspected regularly after practical completion to ensure it is maintained in good order. Replace where required if defective sections are discovered
- All garden refuse, rubbish and associated items that arise from the regular garden maintenance procedures are to be collected and stored in appropriate general waste or green waste containers as is appropriate. Excess waste unable to be stored in Council waste containers is to be removed from the site in a timely manner.

General construction notes

1. Site preparation

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools.

To ensure the survival and growth of existing trees during landscaping works, protect by fencing or armoring where necessary. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within the dripline of any existing trees to be retained on or adjacent to the site. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the drip line of existing trees. Vehicular access shall not be permitted within three (4) metres of any tree.

2. Soil preparation

All proposed planting areas to be ripped (by hand in tree protection zones) to 200mm and clay soils to be treated with clay breaker. Harvested existing top soil from site and store on site and mix with 25% A.N.L. Greenlife compost or approved equivalent. Apply at least 150mm soil depth to planting areas. All additional soil to be 100mm depth of good quality planting mix to be imported and combined with 50mm A.N.L. Greenlife compost or approved equivalent. To be worked in with rotary hoe or by hand in tree protection zones. In general all care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.

3. New plantings

Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. Mature heights of planting as shown on planting schedule show the greatest height possible in ideal conditions. These heights are subject to particular site conditions, possible container environments and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

4. Planter boxes & waterproofing.

All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric. Refer Engineer's details for structural details for planter box drainage & construction. All internal planter slab levels to fall to drainage outlets as detailed by Hydraulic Engineer. Ensure minimum 50mm cavity between planter box and building wherever planter joins building. Keep cavity clear of debris by providing capping row butted against building. Exterior finishes as per Architect's detail. Ensure base of cavity is able to drain via weep holes in event water seeps into cavity so as to not build up against building wall. Containers to be at height as indicated on Architects' drawing. All planter containers or over slab planting to have the following:

- Water proofing as specified by Architects. To extend along base and up to top of soil level of containers
- 'Atlantis' drainage cell at base to be connected to drainage system of development (see typical detail sheet 2)
- A.N.L. planter box soil mix or equivalent to be installed in all containers and over slab planting situation
- Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproof membrane. Contractor to be responsible for the integrity of the waterproofing of the planter boxes
- All planter boxes are to have automatic dripline irrigation system. Connecting pipes to be installed in slab structures prior to slab pour. Irrigation supply lines to be installed by building contractor prior to waterproofing and internal planter box finishes

5. Mulching

All planting areas to be mulched with a minimum 100mm thick cover of woodchip mulch and then all plant areas to be thoroughly soaked with water. All mulch shall be free of vegetative reproductive parts of all weed species

6. Irrigation

Automatic dripline system supplied by harvested rainwater to be incorporated. To extend to all common area landscaped areas included in works (excluding turfed areas and street trees that are to be hand watered as part of ongoing maintenance program). Include all over slab planting areas and all planter boxes where applicable. Hose cocks supplied to all private garden as well as common garden areas. Full irrigation scope to future Construction Certificate details

7. Fertiliser

All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser. **Mass planted areas:** allow one slow release Agriform pellet per 5-25 litre plant. All fertilisers to be applied in accordance with the manufacturers instructions. **Turfed areas:** Supply and install Agriform slow release fertiliser or approved equivalent lawn start fertiliser applied at the rate recommended by the manufacturer

8. Staking

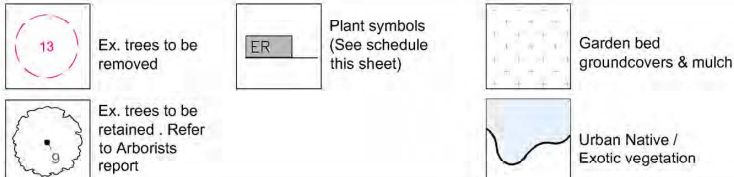
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support and to finish a minimum of 800-1000mm above finished levels

9. Engineering

All structural and hydraulic details whatsoever to Engineer's details.

10. Maintenance

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of thirteen (13) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the turf when it is established at regular intervals to maintain an average height of 50mm.



Amendments

B	8.4.25	For DA
A	5.4.25	Preliminary review



PO Box 4050. ACT 2602
ABN: 16 949 100 279
Phone: 02 9907 8011
www.scrivener-design.com
Email: paul@scrivener-design.com
Project: Residential Flat Building
18-20 Roseville Ave, Roseville. NSW
Dwg: Planting Plan, Schedule & notes

Date: 8.4.25 Scale: 1:150 @A1
Job Ref: 24/2823

Builder must verify all dimensions of the site before work commences.
Figured dimensions should be used in preference to those scaled off.
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North
3 of 3
DA
ISSUE-B

PROPOSED DEVELOPMENT
(No.18-20) ROSEVILLE AVENUE, ROSEVILLE
STORMWATER MANAGEMENT PLANS

LEGEND	
	DENOTES ON-SITE DETENTION TANK
	DENOTES ON-SITE RETENTION TANK
	DENOTES DWELLING FOOTPRINT
	DENOTES 100mm DIA. STORMWATER/SURFACE WATER SYSTEM PIPE AT 1% MIN. GRADE U.N.O.
	DENOTES 100mm DIA. FULLY SEALED RAINWATER SYSTEM PIPE U.N.O.
	DENOTES RAINWATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
	DENOTES STORMWATER/SURFACE WATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
	DENOTES RISING MAIN AND PIPE DIA. U.N.O.
	DENOTES SUBSOIL DRAINAGE LINE AND DIA. WRAPPED IN GEOFABRIC U.N.O.
	DENOTES DOWNPIPE
	DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL
	DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL FOR SYSTEM FLUSHING PURPOSES
	STORMWATER PIT - SOLID COVER
	STORMWATER PIT - GRATED INLET
	DENOTES GRATED DRAIN
	DENOTES ABSORPTION TRENCH
	NON RETURN VALVE
	PUMP
	STOP VALVE (ISOLATION VALVE)
	240v REQUIRED
	DENOTES LEVEL OF INLET /OUTLET OF STORMWATER PIPE. NOTE: UNLESS NOTED OTHERWISE, THE BASE OF THE PIT IS THE SAME AS THE PIPE INLET/OUTLET.

DIAL BEFORE YOU DIG



IMPORTANT: THE CONTRACTOR IS TO MAINTAIN A CURRENT SET OF "DIAL BEFORE YOU DIG" DRAWINGS ON SITE AT ALL TIMES.

GENERAL NOTES	
1.	THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS. WHERE DISCREPANCIES ARE FOUND HYDRACOR CONSULTING ENGINEERS PTY LTD MUST BE CONTACTED IMMEDIATELY FOR VERIFICATION
2.	WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES
3.	SUBSOIL DRAINAGE SHALL BE DESIGNED AND DETAILED BY THE STRUCTURAL ENGINEER. SUBSOIL DRAINAGE SHALL NOT BE CONNECTED INTO THE STORMWATER SYSTEM IDENTIFIED ON THESE PLANS UNLESS APPROVED BY HYDRACOR CONSULTING ENGINEERS PTY LTD.

STORMWATER CONSTRUCTION NOTES	
1.	ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500 (CURRENT EDITION) AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S POLICIES AND CODES
2.	THE MINIMUM SIZES OF THE STORMWATER DRAINS SHALL NOT BE LESS THAN DN90 FOR CLASS 1 BUILDINGS AND DN100 FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY
3.	THE MINIMUM GRADIENT OF STORMWATER DRAINS SHALL BE 1%, UNLESS NOTED OTHERWISE
4.	COUNCIL'S TREE PRESERVATION ORDER IS TO BE STRICTLY ADHERED TO. NO TREES SHALL BE REMOVED UNTIL PERMIT IS OBTAINED
5.	PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY AT THE CLIENT'S EXPENSE
6.	ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS FOR ALL PITS OVER 1.2m DEEP
7.	MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK
8.	VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION
9.	SERVICES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITIES AND FIELD INVESTIGATIONS AND ARE NOT GUARANTEED COMPLETE NOR CORRECT. IT IS THE CLIENT & CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PRIOR TO CONSTRUCTION
10.	ANY VARIATION TO THE WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY HYDRACOR CONSULTING ENGINEERS PTY LTD PRIOR TO THEIR COMMENCEMENT

RAINWATER RE-USE SYSTEM NOTES	
1.	RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS)
2.	TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF: 2.1. PERMANENT AIR GAP 2.2. BACKFLOW PREVENTION DEVICE
3.	NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAIN WATER SUPPLY
4.	AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK
5.	PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL
6.	ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE
7.	PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN
8.	ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT TO BE CONNECTED
9.	PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZS3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345)
10.	EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1319
11.	ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY

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DEVELOPMENT APPLICATION ISSUE
NOT FOR CONSTRUCTION

DRAWINGS MUST BE PRINTED IN COLOUR

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KU-RING-GAI DCP PART 24 STORMWATER DRAINAGE SUMMARY

SITE AREA 2069 m²
PRE-DEVELOPED IMPERVIOUS AREA N/A m²
POST DEVELOPED IMPERVIOUS AREA 1205 m²

DESIGN SUMMARY IN RESPONSE TO THE KU-RING-GAI DCP PART 24 - WATER MANAGEMENT:

- STORMWATER DISCHARGE (24B.5)
ON-SITE DETENTION / RAINWATER TANK OVERFLOW AND SURFACE PITS TO DISCHARGE TO TRAFALGAR AVENUE

- STREAM FLOW CONTROLS PART 24 CLAUSE 24.C3

PROPOSAL

PROVISION OF 15,000 LITRE MIN. RAINWATER TANK.

REFER TO SHEET C3, C6 & C7

- ON-SITE DETENTION PART 24 CLAUSE 24.C5

REFER TO CALCULATION SHEET.

PROPOSAL

PROVISION OF 39,000 LITRE MIN. ON-SITE DETENTION TANK

REFER TO SHEET C3, C6 & C7

- WATER QUALITY PART 24 CLAUSE 24.C6

PROPOSAL

PROVISION OF: 15,000 LITRE RAINWATER TANK

4 x OCEANPROTECT FILTERS

1 x OCEANGUARD

REFER TO SHEETS C9 - C11

CATCHMENT DETAIL ON-SITE DETENTION CALCULATION SHEET - 24R.4

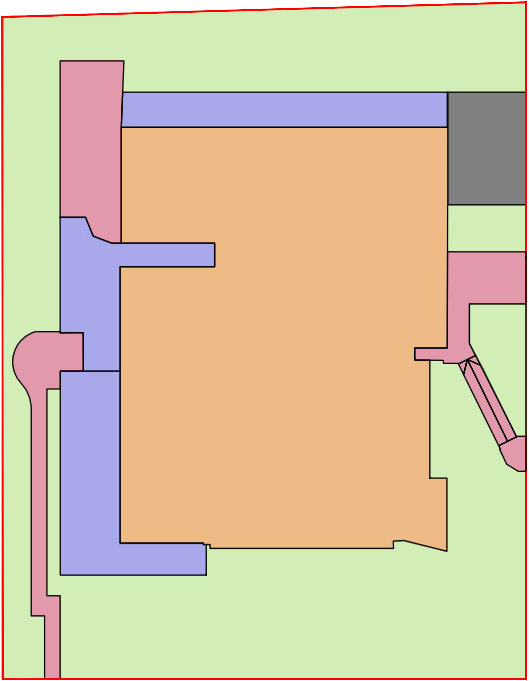
- CATCHMENT NAME MC1
- CATCHMENT DISCHARGE RATE 0.0136 l/sec/m² A
- CATCHMENT STORAGE RATE 0.0315 m³/m² B
- SITE DETAILS
- SITE AREA (m²) 2069 60% OF SITE AREA m² 1241 C
- AREA(S) NOT DRAINING TO THE DETENTION SYSTEM N/A m²
- TOTAL IMPERVIOUS AREA (ROOFS, DRIVEWAYS, PAVING, FUTURE DEV.) 1205 m² D
- IMPERVIOUS AREA BYPASSING DETENTION SYSTEM 159 m² E

PERMITTED SITE DISCHARGE

- C [1241 m²] x A [0.0136 l/sec/m²] = 16.8 l/sec Flow 1
- ADJUSTMENT FOR ANY UNCONTROLLED IMPERVIOUS FLOW E / D= 0.13 (<0.25) F
- FLOW 1 [16.8 l/sec x F [0.13] = 2.2 l/sec Flow 2
- FLOW 1 [16.8] - FLOW 2 [2.2] = 14.6 l/sec PSD

SITE STORAGE REQUIREMENT

- C [1241 m²] x B [0.0315 m³/m²] = 39 m³ SSR1
- IF THE STORAGE IS IN A LANDSCAPED BASIN, SSR1 x 1.2 = m³ N/A SSR2



- IMPERVIOUS PAVEMENT AREAS DIRECTED TO OSD TANK INCLUDING LANDSCAPE PLANTERS OVER SLABS (AREA = 214m²)
- BASEMENT PUMP-OUT AREA DIRECTED TO OSD TANK (AREA = 52m²)
- ROOF AREA DIRECTED TO OSD TANK VIA OSR (RAINWATER) TANK (AREA = 780m²)

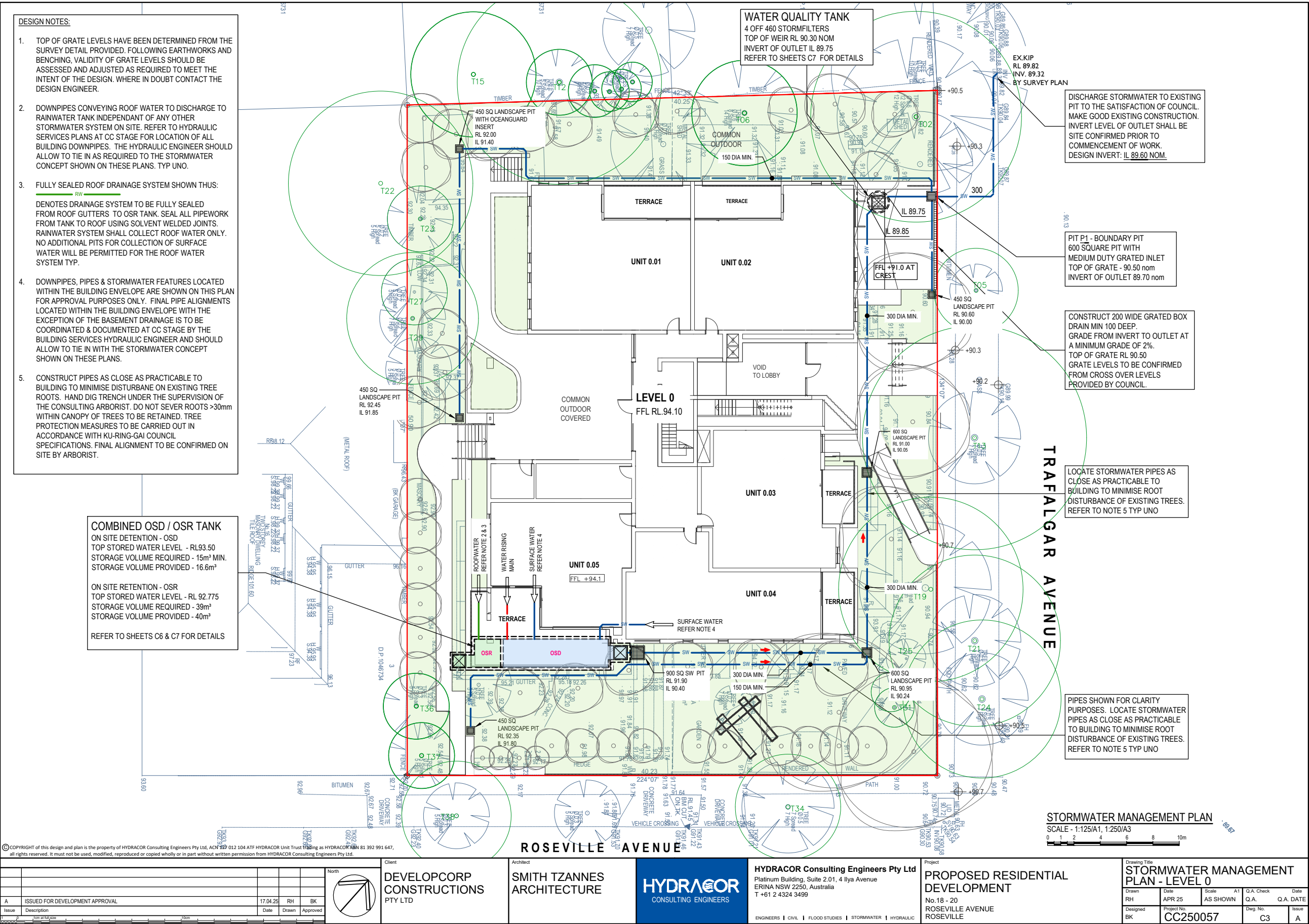
- LANDSCAPE AREA BYPASSING OSD SYSTEM (AREA = 864m²)
- IMPERVIOUS AREA BYPASSING OSD SYSTEM PATHS (AREA = 159m²)

TOTAL CATCHMENT DIRECTED TO OSD TANK = 2086m² (54%)

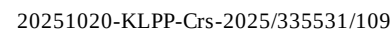
SUMMARY
SITE AREA = 2069
TOTAL IMPERVIOUS AREA = 1205m² (58%)
TOTAL AREA BEING DIRECTED TO OSD SYSTEM = 1046m² (50% OF SITE)
TOTAL IMPERVIOUS CATCHMENT AREA BYPASSING OSD SYSTEM = 159m² (7.68%)

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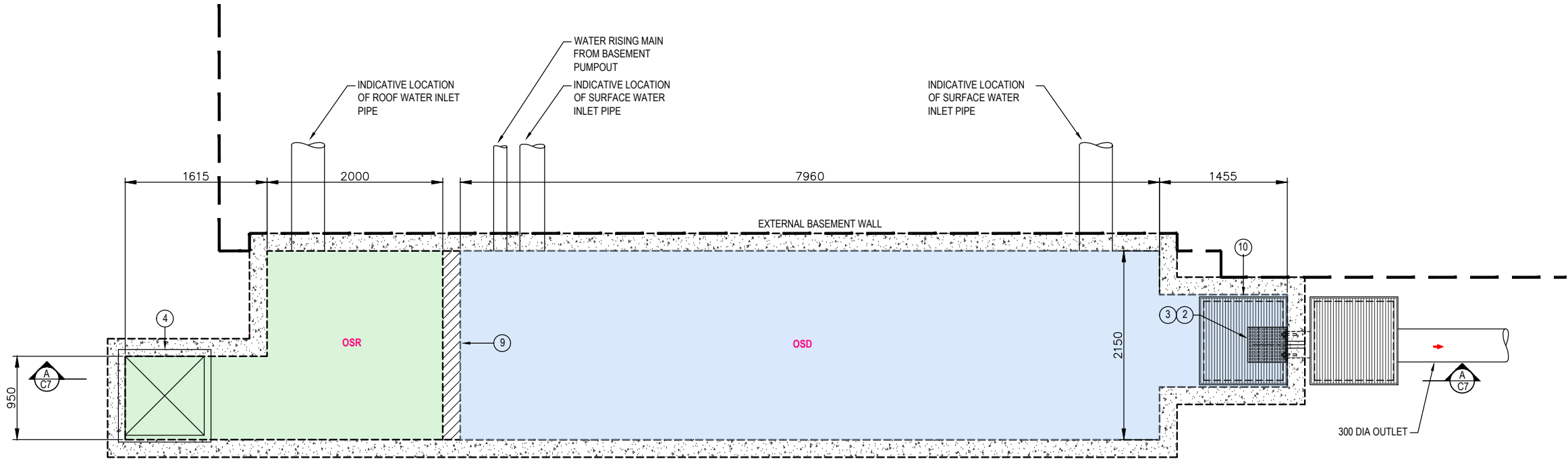
				North		Client		Architect		HYDRACOR CONSULTING ENGINEERS		Project		Drawing Title	
						DEVELOPCORP CONSTRUCTIONS PTY LTD		SMITH TZANNES ARCHITECTURE				PROPOSED RESIDENTIAL DEVELOPMENT		STORMWATER MANAGEMENT PLAN	
A				ISSUED FOR DEVELOPMENT APPROVAL		17.04.25		RH		BK		Drawn		Date	
Issue				Description		Date		Drawn		Approved		Scale		A1	
1				1:1000		1:1000		1:1000		1:1000		Q.A. Check		Date	
												Q.A.		Q.A. DATE	
												Designed		Dwg. No.	
												Project No.		Issue	
												BK		CC250057	
														C2	
														A	







LEGEND			
①	300 DIA OUTLET PIPE	⑨	2.15m LONG OSR OVERFLOW WEIR
②	350 x 350 x 4 PL 316SS 4 HOLES 12 DIA FOR M10 CHEMSETS	⑩	900 x 900 GRATE BOLTED DOWN
③	TRASH SCREEN LYSAGHT RH3030 GALV. REMOVABLE WITH HANDLE		
④	900 x 900 SOLID COVER BOLTED DOWN		
⑤	DUAL RE-USE PUMPS TO MANUFACTURERS SPECIFICATIONS		
⑥	NON-RETURN VALVE		
⑦	PVC PIPE CLASS '16' RISING MAIN BY OTHERS		
⑧	PROVIDE GALVANISED STEP IRONS AT 300mm CENTRES WHERE DEPTH EXCEEDS 1100mm IN ACCORDANCE WITH THE AUST. STANDARDS AT ALL ACCESS POINTS OF THE TANK, TYP.		



ON-SITE RETENTION / DETENTION TANK PLAN
SCALE - 1:25/A1, 1:50/A3

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				Client		Architect		Project		Drawing Title			
				DEVELOPCORP CONSTRUCTIONS PTY LTD		SMITH TZANNES ARCHITECTURE		HYDRACOR Consulting Engineers Pty Ltd Platinum Building, Suite 2.01, 4 Ilya Avenue ERINA NSW 2250, Australia T +61 2 4324 3499		ON SITE DETENTION / RETENTION PLAN			
								PROPOSED RESIDENTIAL DEVELOPMENT		Drawn		Date	
								No.18 - 20 ROSEVILLE AVENUE ROSEVILLE		RH		APR 25	
										Scale		A1	
										AS SHOWN		Q.A. Check	
										Q.A.		Q.A. DATE	
										Designed		Project No.	
										BK		CC250057	
										Dwg. No.		C6	
										Issue		A	

LEGEND			
①	300 DIA OUTLET PIPE	⑨	2.15m LONG OSR OVERFLOW WEIR
②	350 x 350 x 4 PL 316SS 4 HOLES 12 DIA FOR M10 CHEMSETS	⑩	900 x 900 GRATE BOLTED DOWN
③	TRASH SCREEN LYSAGHT RH3030 GALV. REMOVABLE WITH HANDLE		
④	900 x 900 SOLID COVER BOLTED DOWN		
⑤	DUAL RE-USE PUMPS TO MANUFACTURERS SPECIFICATIONS		
⑥	NON-RETURN VALVE		
⑦	PVC PIPE CLASS '16' RISING MAIN BY OTHERS		
⑧	PROVIDE GALVANISED STEP IRONS AT 300mm CENTRES WHERE DEPTH EXCEEDS 1100mm IN ACCORDANCE WITH THE AUST. STANDARDS AT ALL ACCESS POINTS OF THE TANK, TYP.		



PROVIDE CONFINED SPACE SIGNAGE AT ENTRY POINTS INTO TANK.

TANK ROOF TO STRUCTURAL ENGINEERS DETAILS.

TERRACE

FSL OF UNIT/S (LEVEL 0) 94.10

MAX STORED WATER LEVEL (OSR) RL 93.50

15m³ MIN. ON-SITE RETENTION

2875 AVERAGE DEPTH

1% FALL

RL 90.65

MAX STORED WATER LEVEL (OSD) RL 92.775

39m³ MIN. ON-SITE DETENTION

AVERAGE DEPTH 2150

1% FALL

WALLS, ROOF & BASE OF TANK TO STRUCTURAL ENGINEERS DETAILS

A SECTION SCALE: 1:25/A1, 1:50/A3

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					North
A	ISSUED FOR DEVELOPMENT APPROVAL	17.04.25	RH	BK	
Issue	Description	Date	Drawn	Approved	
1	As shown				

Client
DEVELOPCORP CONSTRUCTIONS PTY LTD

Architect
SMITH TZANNES ARCHITECTURE

HYDRACOR
CONSULTING ENGINEERS

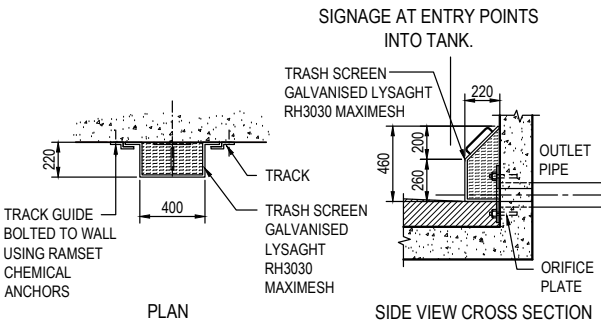
HYDRACOR Consulting Engineers Pty Ltd
Platinum Building, Suite 2.01, 4 Ilya Avenue
ERINA NSW 2250, Australia
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ENGINEERS | CIVIL | FLOOD STUDIES | STORMWATER | HYDRAULIC

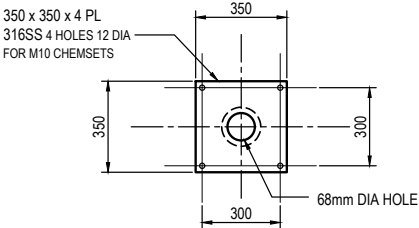
Project
PROPOSED RESIDENTIAL DEVELOPMENT
No.18 - 20
ROSEVILLE AVENUE
ROSEVILLE

Drawing Title
STORMWATER MANAGEMENT DETAILS - SHEET No.1

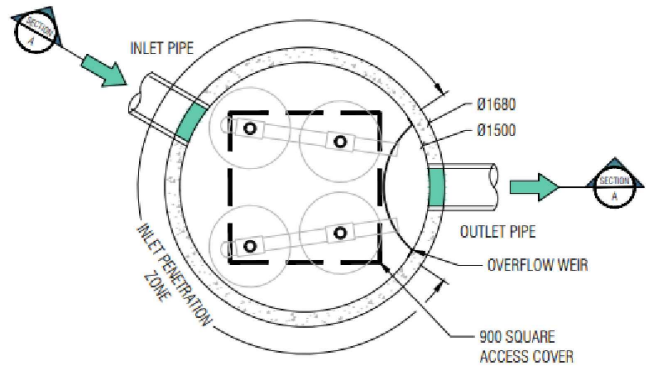
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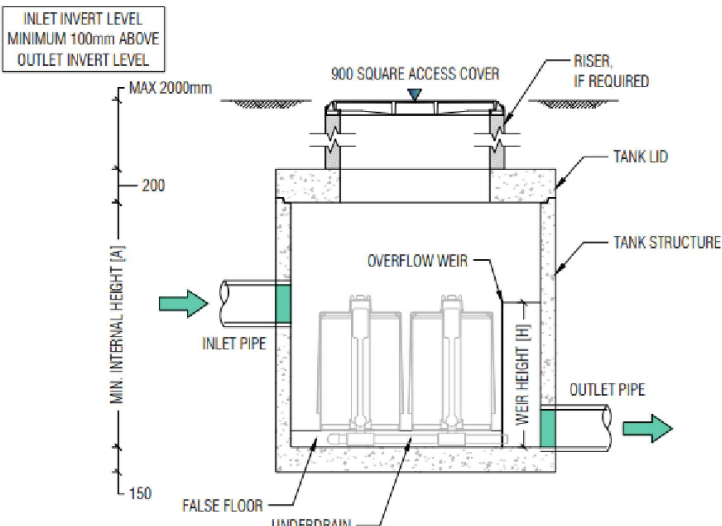
TRASH SCREEN SCALE NTS



ORIFICE PLATE DETAIL SCALE NTS



PLAN LAYOUT



SECTION A

WATER QUALITY TANK TYPICAL DETAIL

900 x 900 SURCHARGE GRATE BOLTED DOWN

RL 92.775

NGL 91.90

RL 90.60

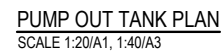
900 x 900 SUMP

IL 90.40

IL 90.60

OUTLET

IL 90.40



1. THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE
2. A FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS AT THE MINIMUM WATER LEVEL. THE SAME FLOAT SHALL BE SET TO TURN ONE OF THE PUMPS ON UPON WATER LEVEL IN THE TANK RISING TO APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL. THE PUMP SHALL OPERATE UNTIL THE TANK IS DRAINED TO THE MINIMUM WATER LEVEL.
3. A SECOND FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
4. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.
5. A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT ALL ACCESS POINTS TO THE PUMP OUT STORAGE TANK.



A	ISSUED FOR DEVELOPMENT APPROVAL					17.04.25	RH	BK
Issue	Description	Date	Drawn	Approved				

Drawing Title					
STORMWATER MANAGEMENT DETAILS - SHEET No.2					
Drawn	Date	Scale	A1	Q.A. Check	Date
RH	APR 25	AS SHOWN		Q.A.	Q.A. DATE
Designed	Project No.		Dwg. No.	Issue	
BK	CC250057		C8	A	

STREAM FLOW CONTROL REPORT

INTRODUCTION & METHODOLOGY

WE REFER TO KU-RING-GAI COUNCIL DEVELOPMENT CONTROL PLAN AND SPECIFICALLY CLAUSE 24C.3 SECTION 4 WHICH REQUIRES THE ASSESSMENT OF A RAINWATER TANK SYSTEM WHICH PROVIDES A 50% REDUCTION IN RUNOFF DAYS. IN ORDER TO DETERMINE THE RAINWATER TANK VOLUME REQUIRED TO MEET THE 50% REDUCTION TARGET A WATER BALANCE MODEL WAS DEVELOPED TO REPRESENT THE WATER TRANSPORTATION PROCESS IDENTIFIED IN FIGURE 1 BELOW.

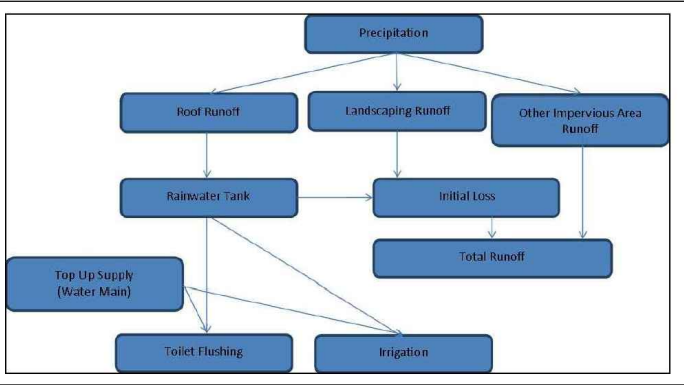


FIGURE 1. WATER BALANCE MODEL SUMMARY

THE METHODOLOGY ADOPTED, ASSESSES THE STORMWATER RUNOFF DIRECTED TO THE TANK ON A DAILY BASIS AND THE DAILY DRAWDOWN ASSOCIATED WITH DOMESTIC USAGE. THE MODELLING PRODUCES A DAILY TIME SERIES FOR THE AVAILABLE STORAGE IN THE TANK, DAILY MAINS WATER TOP UP, SPILL DURING STORMS, AND THE STORAGE LEVEL IN THE TANK.

WATER BALANCE SUMMARY

Post-development site (no management measures)		Post-development site (with management measures)	
areas		areas	
total area	2069 m ²	total area	2069 m ²
impervious area draining to re-use	0 m ²	impervious area draining to re-use	500 m ²
pervious area	836 m ²	pervious area	836 m ²
impervious area graded to landscaping	0 m ²	impervious area graded to landscaping	733 m ²
impervious area bypassing reuse & landscapin	1233 m ²	impervious area bypassing reuse & landscapin	0 m ²
reuse		reuse	
reuse tank volume	0 m ³	reuse tank volume	15 m ³
initial fraction full of reuse tanks	1	initial fraction full of reuse tanks	0.5
daily reuse	0 m ³	daily reuse	0 m ³
irrigation use per week	0 m	irrigation use per week	0.01 m
losses		losses	
pervious area loss (mm)	12 mm	pervious area loss (mm)	12 mm
impervious area loss (mm) **	0.5 mm	impervious area loss (mm) **	0.5 mm
area to re-use loss (mm) *	0.5 mm	area to re-use loss (mm) *	0.5 mm
statistics		statistics	
Number of runoff days	3552	Number of runoff days	1764
number of tank spill days	0	number of tank spill days	1133
total runoff volume	61,679.49	total runoff volume	48,343.85
number of simulated days	11323	number of simulated days	11323
number of rain events	4595	number of rain events	4595
days reuse demand met	0	days reuse demand met	10454
number of irrigation days	0	number of irrigation days	1618
		reduction in runoff days	50.3%
		reduction in runoff volume	21.6%

WATER BALANCE DATA SUMMARY

AS SHOWN ABOVE REUSE IS ONLY REQUIRED TO CONNECT TO IRRIGATION ONLY TO ACHIEVE COMPLIANCE WITH COUNCIL'S REQUIREMENTS FOR RUNOFF REDUCTION.

CONCLUSION

BASED ON THE FOREGOING A MINIMUM TOTAL RAINWATER TANK VOLUME OF 15kL IS REQUIRED TO REDUCE RUNOFF DAYS BY 50.3% WHICH IS BASED ON A MINIMUM CATCHMENT AREA OF 500 m² DRAINING TO THE RAINWATER TANK.

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										Client	Architect	HYDRACOR CONSULTING ENGINEERS	Project	Drawing Title					
										DEVELOPCORP CONSTRUCTIONS PTY LTD	SMITH TZANNES ARCHITECTURE		HYDRACOR Consulting Engineers Pty Ltd Platinum Building, Suite 2.01, 4 Ilya Avenue ERINA NSW 2250, Australia T +61 2 4324 3499	PROPOSED RESIDENTIAL DEVELOPMENT	STORMWATER QUALITY REPORT SHEET 1 OF 3				
North																Date	Q.A. Check	Date	
A	ISSUED FOR DEVELOPMENT APPROVAL										17.04.25	RH	BK				Drawn	Q.A.	Q.A. DATE
Issue	Description										Date	Drawn	Approved						
	Scale of full page										100m								
													</						

1 INTRODUCTION

TABLE 1 - STORMWATER POLLUTANT REDUCTION TARGETS
(MUSIC v6.3.0)

2 STUDY METHODOLOGY

THE REPORT IS BASED ON THE APPLICATION OF MUSIC SOFTWARE (MODEL FOR URBAN STORMWATER IMPROVEMENT CONCEPTUALISATION). IN THIS REGARD THE MODEL IS DEFINED AS FOLLOWS:

- THE MODEL DEFINES WATER QUALITY PROFILES FOR BOTH TREATED AND UNTREATED POST DEVELOPED SCENARIOS. THE TREATED POST DEVELOPED MODEL INCLUDES PARAMETERS WHICH REPRESENT THE WATER QUALITY MEASURES.

3.1 GENERAL

3.2 RAINFALL/RUNOFF AND EVAPOTRANSPIRATION

THE DETAILS ARE SUMMARISED IN TABLE 3.1 AND 3.2

JAN	FEB	MAR	APR	MAY	JUN
180	135	128	85	58	43
JUL	AUG	SEP	OCT	NOV	DEC
43	58	88	127	152	163

3.3 CATCHMENT DEFINITION

TABLE 3.3 - POST DEVELOPMENT SUB CATCHMENT DETAILS			
SUB CATCHMENT ID	SUB CATCHMENT AREA (ha)	% IMPERVIOUS AREA	% PERVIOUS AREA
ROOF TO OSR	0.70	100	0
DRIVEWAY TO TREATMENT	0.005	100	0
IMPERVIOUS TO TREATMENT	0.05	100	0

THE MUSIC MODEL IS BASED ON A 6 min RAINFALL-RUNOFF MODEL IN CONJUNCTION WITH REPRESENTATIVE BASEFLOW AND STORMFLOW EVENT MEAN CONCENTRATIONS (EMCs).

4.1 WATER QUALITY PARAMETERS

THE ADOPTED VALUES OF VARIOUS MUSIC RAINFALL AND RUNOFF
PARAMETERS ARE SUMMARISED IN TABLE 4.1 AS PER THE DEFAULT NODE
VALUES WHEN ADOPTING THE KU-RING-GAI COUNCIL MUSIC LINK.

TABLE 4.1 - ADOPTED MUSIC RAINFALL/RUNOFF PARAMETERS	
PARAMETER	VALUE
<u>IMPERVIOUS AREA PROPERTIES</u>	
RAINFALL THRESHOLD (mm/DAY)	1.0 (0.3 ROOFS)
<u>PERVIOUS AREA PROPERTIES</u>	
SOIL STORAGE CAPACITY (mm)	170
SOIL INITIAL STORAGE (% OF CAPACITY)	30
FIELD CAPACITY (mm)	70
INFILTRATION CAPACITY COEFFICIENT - a	210
INFILTRATION CAPACITY EXPONENT - b	4.70
<u>GROUNDWATER PROPERTIES</u>	
INITIAL DEPTH (mm)	10
DAILY RECHARGE RATE (%)	50
DAILY BASEFLOW RATE (%)	5
DAILY DEEP SEEPAGE RATE (%)	0



DESIGN REPORT

ROSEVILLE AVE APARTMENTS

APRIL 2025

SMITH & TZANNES



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TITLE	DESIGN REPORT
PROJECT	ROSEVILLE AVE APARTMENTS
PROJECT NO	25_003
CLIENT	DEVELOPCORP CONSTRUCTIONS PTY LTD
PRINCIPAL AUTHOR	Peter Smith [Reg. No 7024] psmith@smithtzannes.com.au

REVISION & DATE	REV A 16-04-2025
STATUS	FOR APPROVAL

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Smith & Tzannes acknowledges that we are on the land of the Gadigal, Bidjigal and Cammeraygal people within the Eora Nation, the traditional custodians of the land. We recognise and respect their continuing connection to land, waters and community. We pay our respects to Elders past, present and emerging.

DISCLAIMER

While every reasonable effort has been made to ensure that this document is correct at the time of publication, Smith and Tzannes Pty Ltd, and its employees, disclaim any and all liability to any person in respect of anything or the consequences of anything done or omitted to be done in reliance up on the whole or any part of this document.



INTRODUCTION

PURPOSE

This report has been prepared by Smith & Tzannes on behalf of the applicant Developcorp Constructions Pty Ltd to support a Development Application for the demolition of existing structures and construction of a 8 storey residential flat building with an affordable housing component.

This report is provided to describe the existing and future context of the site and an explanation of the design intent. It includes:

- A description of the existing context and site analysis.
- An explanation of the design in terms of Chapter 4, Schedule 9; Design Principles for Residential Development of the housing SEPP.
- An explanation about how the proposed development responds to the existing context and contributes to desired future character of the area.
- A description of how the proposed development achieves the relevant objectives and design criteria of Parts 3 & 4 in Apartment Design Guide.

This report is structured around the design principles for residential apartment development. Found in chapter 4, schedule nine of the housing SEPP. The relevant objectives of the apartment design guide are discussed under the related design principle. Design criteria and design gods in the apartment design guide is used to demonstrate achievement of the objectives.

BACKGROUND

The subject site is located in an eastern portion of Roseville that is considered a heritage conservation zone under council LEP Controls, however is also included in land forming part of the Transport Oriented Development SEPP recently enacted by the state government due to its proximity to the Roseville train station.

The proposal is consistent then with a desired future character of development in the area as it provides medium density housing stock with close proximity to existing centres and public transport. Key to the success of this project will be its ability to engage with and stitch into the existing heritage fabric.

DESIGN VERIFICATION

This project is deemed to be a residential flat building to which State Environmental Planning Policy amendment (housing) 2023 applies. This design verification statement is provided to satisfy cl29 of the Environmental Planning Regulation 2021.

This report confirms that I, Peter Smith, being a registered architect in accordance with the Architects Act 2003, registration no. 7024:

- Directed the design of the development,
- That the design quality principles for Residential Apartment Development set out in schedule 9 are achieved for the development, and
- That the objectives of Parts 3 and 4 of the Apartment Design Guide have been achieved.

PETER SMITH
Director
Smith & Tzannes



CONTEXT AND SITE

LOCAL CONTEXT

LOCATION

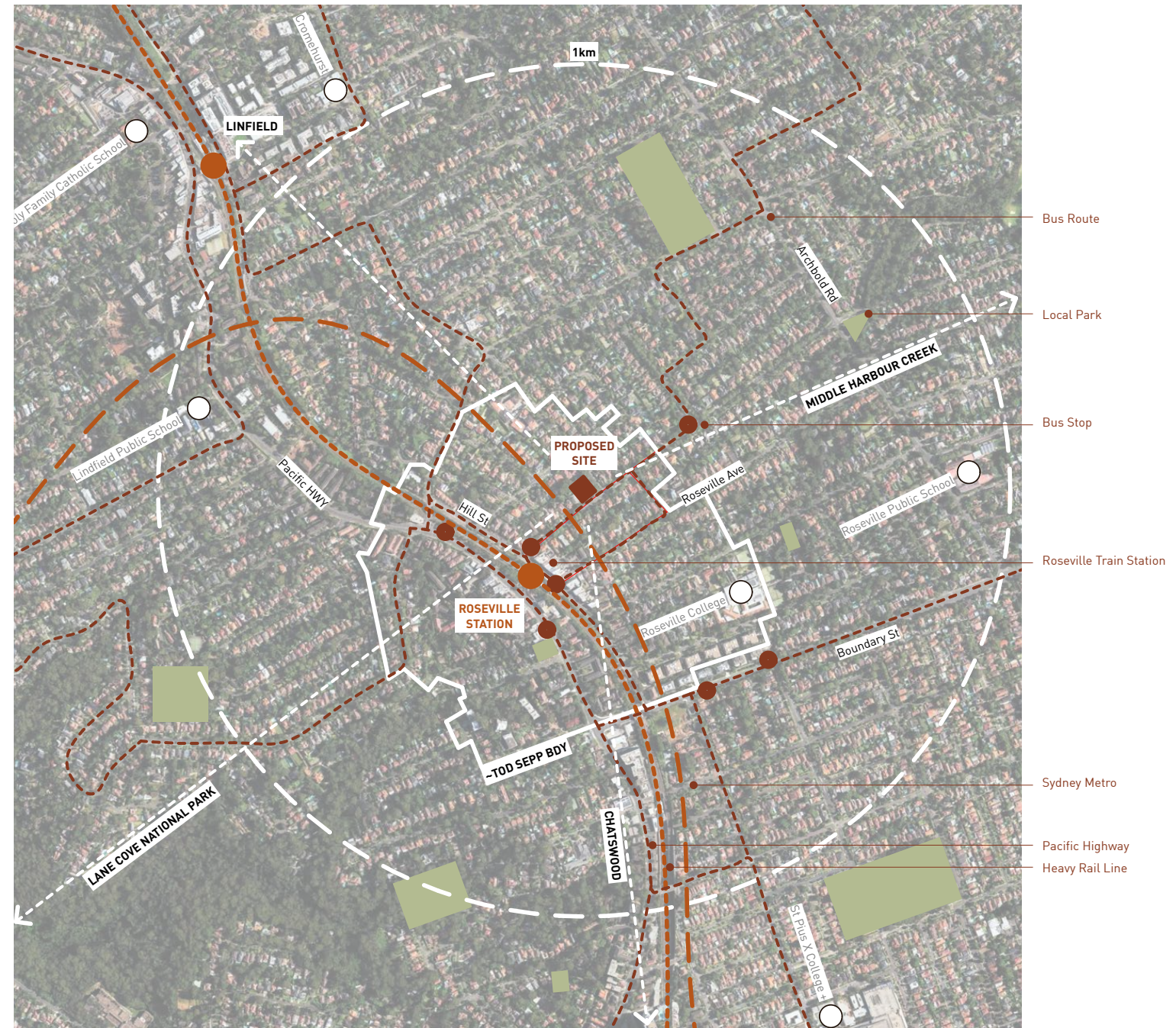
Roseville is a suburb on the North Shore of Sydney, located 12 kilometres north of the Sydney CBD. Roseville falls within the local government area of Ku-ring-gai Council. The suburb is known for its leafy streets, heritage homes, and family-friendly atmosphere. It is bound by Lindfield, Chatswood, Castle Cove, and Killara. Roseville offers excellent access to a range of facilities and services, including parks, schools, and public transport, including

- Roseville Oval and tennis courts, Roseville Memorial Park, Bancroft Park and Little Digger Park.
- Roseville public school, Roseville college, Linfield Public School, Mercy Catholic College, Our Lady Dolorus and St Pius X College
- M1 Metro line (Chatswood), T1 & T9 train lines from Roseville Station and buses to east Killara, Chatswood, St Ives and Macquarie Park from stops within 300m of the project site.

LOCATION HISTORY

Sited within the Ku-ring-gai local government area, the traditional owners are the Darramuragal people, of the Eora Nation, known for their skilled hunter-gatherer societies, with a strong emphasis on fishing, utilizing the region's waterways for sustenance, and relying on the local bushland for food, shelter, and cultural tradition.

The suburb today is characterized by its shaded streets, great parks, and close proximity to the Lane Cove National Park, which serves as a haven for native wildlife and outdoor amenity. Historically, Roseville featured large estates and some orchards and as Sydney expanded, it developed into a predominantly residential suburb. The area saw significant growth in the early 20th century, with many Federation-style homes and Californian bungalows still standing today.



NEIGHBOURHOOD AND BUILT FORM CHARACTER

A significant portion of the neighbourhood is considered a heritage conservation area, made up of a mix of federation and Californian bungalow style 1 and 2 story detached homes comprised of landscaped front setbacks and modest rear or side yards. Some low scale late 20th century walk up apartment buildings can be found at a mixed use core to the suburb adjoining primary roads and the railway station. As a suburb in transition some lower density buildings are being replaced with medium density apartment buildings, particularly on sites in close proximity to the neighbourhoods train station as it enables access to adjoining employment, education and entertainment centres nearby.

Existing architectural vernacular is predominately comprised of larger brick homes with steep pitched terracotta hip and gable roofs, the ground level is often elevated slightly above the street and set in shadow by deep verandas. Layering of hedges and shrubs provide a threshold to the street for most dwellings while an established canopy of street trees shade footpaths, front lawns and on street parking spaces. Detached homes are read in the round with landscaping on all sides and often sit slightly above the street level as a result of both the topography and construction technology of that era. Existing medium density housing stock is typical of its more modern era with a focus on ground level parking at or slightly below street level, simple red brick veneer and standardised lower pitch hip roofs.

Key to a successful evolution of the suburb will be stitching a much needed medium density typology into low rise, heritage sensitive suburban condition. There is an opportunity for existing materiality and fenestration to be carried over to new forms, for a landscape and ground plane to sow differing form and scale to one another and for new development to positively contribute to the neighbourhood character and life rather than being an entity unto itself.

HERITAGE

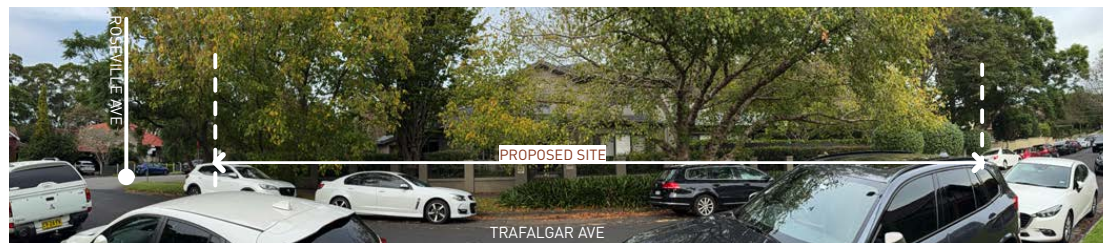
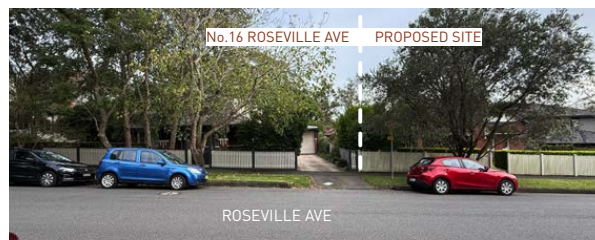
The Clanville Conservation Area began as a 400-acre land grant in 1819 and was primarily used for timber before being sold and gradually developed into a residential area. Subdivision occurred from the 1890s to the 1920s, transforming the land into a garden suburb with spacious lots, tree-lined streets, and well-formed roads. The area became known for its modern villa residences, set among flowering gardens and natural features. With minimal changes since the early 20th century, it retains its historic character and is defined by Federation and early Interwar architectural styles



DWELLING TYPES
SURROUNDING THE SITE



STREET



AERIAL CONTEXT VIEW



EXISTING SITE CONDITIONS

SITE DESCRIPTION

LOT/DP/STRATA PLAN NO.	Lot 3 & 4 DP 1046734
STREET ADDRESS	18 - 20 Roseville Ave
SUBURB	Roseville
LOCAL GOVERNMENT AREA	Ku-ring-gai
SITE AREA	2069 m²
STREET FRONTAGE	Approx. 92m
HERITAGE	Within conservation area + Adjoining listed item (local)

CURRENT LAND USE AND EXISTING STRUCTURES

The current land use is residential. The current buildings on the site consist of dwelling houses and outbuildings ancillary to the use of the dwellings.

TOPOGRAPHY

The site is falls about 2m from west to east, with the highest part of the site at the south west corner fronting Roseville ave

VEGETATION

The site contains 25 trees and established gardens on both lots. Three trees are located on adjacent land that is in close proximity to the proposed development and 7 tress on the street verge. A arborist has provided advice to ensure impacts on the health of these trees is maintained.

There are 11 trees on the site that required removal. Further detail can be found in the arborist report accompanying this application.

FAUNA

There are no known endangered or threatened species on the site. There is a small established stand of trees mapped as having biodiversity values (LEP) on several adjoining lots to the north west, however development on proposed lots is not considered to pose a risk to these trees.

FLOODING

A portion of the site is subject to overland flow flooding, a report has

been prepared and forms part of this application.

MICROCLIMATE

Three principle wind directions affect the development - north-west south-east and westerly breezes. Summer winds are most prevalent from the north-west and east. Cooling breezes are available from the east.

CONTAMINATION

Previous recorded history is for residential and agricultural uses. The Preliminary Site Investigation report concluded that there is low potential for widespread contamination and the site is suitable for the proposed use. This suggests that there is no ground contamination on the site. Existing dwellings are predominantly masonry and timber construction and are not considered to contain asbestos.

ACID SULFATE SOILS

Acid sulfate soils have been mapped as class 5 land by Ku-ring-gai Council.

ACCESS

Vehicle access for both lots is currently from Roseville ave. Pedestrian access is located on both frontages and joins to an existing footpath network. There are no restrictions to access on the site..

SOLAR ACCESS

Apartments that orientate towards either street frontage will maximise solar access. Future development could impact solar access to the adjacent detached home that has living rooms and private open space facing north east and north west. Appropriate setbacks and height will in part mitigate the solar access impacts.

PRIVACY

The adjacent properties contain free standing homes with shaded, moderately sized rear yards. While tree canopy provides an existing privacy screen adjoining apartments will need to focus views and carefully consider privacy implications for neighbouring residents.

NOISE

The dwellings are within a residential setting and noise impacts from the surrounding traffic and buildings are minimal. Acoustic mitigation will be in line with recommendations set out in the apartment design guide.



18 ROSEVILLE AVE



20 ROSEVILLE AVE



PROJECT DESCRIPTION

The proposed development is for the demolition of two existing dwellings and associated structures on the site and construction of a residential flat building that partially contains affordable housing.

DESIGN STRATEGY

The following design principles relate to the response to the site conditions, and how amenity has been achieved for the proposal.

OPEN SPACE

Open space will be consistent with adjoining residential lot pattens with landscaping on all sides of the development and within front and side setback zones. Communal open space will vary in use engagement with the street in keeping with existing pattens

PERMEABILITY - A LEGIBLE LANE NETWORK

The front setback will comprise low-scale hedging and lawns, continuing the landscape patterns of adjoining lots to maintain streetscape cohesion and visual permeability. The resident entry foyer will act as a defined threshold between public and private space, offering weather protection for visitors. A secondary pedestrian gate will provide direct access between COS and the street via a dedicated side path, enhancing connectivity and circulation.

RELATIONSHIP TO CONTEXT

As noted in early analysis the subject site is identified as both within a heritage conservation area and on land identified under the NSW State Governments Transport Oriented Development State Environmental Planning Policy. While the existing context is predominantly low rise detached homes, its understood mid rise medium density development is key to the neighbourhoods future character. The scheme presented within this application makes genuine efforts to reconcile these two characteristics and proposes development that builds on existing fabric in a density comparable with contemporary Sydney life.

DEVELOPMENT SUMMARY

The development includes:

- Residential flat building
- Selected apartments dedicated to affordable housing
- Basement containing storage, car and bicycle parking

KEY DEVELOPMENT METRICS	
SITE AREA	2069 m ²
GROSS FLOOR AREA - RESIDENTIAL	4696m ²
GROSS FLOOR AREA - NON-RESIDENTIAL	0m ²
TOTAL GROSS FLOOR AREA	4696 m ²
FSR	2.27:1
LANDSCAPED AREA (DEEP SOIL)	873 m ²
PLANTING AREA	724m ²
COMMUNAL & PUBLIC OPEN SPACE	523m ²
HEIGHT OF BUILDING	26.4m
NO. APARTMENTS	41
1 Bed	3 (7%)
2 Bed	21 (51%)
3 Bed	17 (42%)
NO. CAR SPACES	45
Non-residential	0
Residential	45
Visitor	0
LOADING BAYS	1
Resident bicycle	41
Visitor bicycle	6



DESIGN QUALITY

PRINCIPLE 1: CONTEXT AND NEIGHBOURHOOD CHARACTER

Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.

Responding to context involves identifying the desirable elements of an area’s existing or future character. Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood. Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified

A site analysis is provided on the preceding pages that identifies key character elements, opportunities, constraints and the relationship with the surrounding context.

Existing character

As noted in earlier analysis the site is predominantly surrounded by existing single story detached homes of federation and Californian bungalow styles, clad in brick with steep expressed roof forms, set slightly above the street bound on all sides by landscaping and gardens consistent with above mentioned styles. Locally significant heritage items adjoin the site to the south west (Roseville Ave) and across the road on Trafalgar Ave. Low picket fences and hedging predominantly forms the threshold between public and private domain while a generous canopy of street trees shade footpaths, streets and back yards. Emerging character is likely to take the form of 5 - 8 level apartment buildings with basement parking marketed towards young families or downsizes looking to stay in the neighbourhood. Functionally needs of those entering the neighbourhood through developments similar to that proposed, aren’t dissimilar from families already living in the area, the difference is in higher density forms the front and back yard, the bike shed, the mailbox and the covered outdoor dining area are all shared space, and in this there is an opportunity to bring life to the street and build upon not only the built but also existing cultural character of the neighbourhood.

How proposal is compatible within existing and desired character

The proposed development maintains continuity with the existing streetscape through landscaping that extends patterns from adjoining properties. The pedestrian entry off Trafalgar Avenue is slightly elevated, forming a stoop that reflects the character of neighbouring detached homes. The material palette—brick, terracotta, and timber—references the local context but is reinterpreted in a contemporary manner. The building form responds to its surroundings with a landscaped base, deep verandahs and balconies on each level, and

varied ridge heights. Fenestration draws from Federation-style influences, featuring regularly spaced tall single windows and larger openings articulated into smaller components, shaded by steep hoods reminiscent of traditional bay windows. Street walls are segmented to align with adjacent frontage proportions, while vertical breaks differentiate the massing where the development meets detached homes to the southwest and northwest. Apartments are oriented towards the street, with private open spaces engaging both frontages to enhance passive surveillance. Datum lines from adjoining heritage structures are integrated into the new design, and brickwork detailing intensifies over larger façade spans to introduce texture, depth, and visual interest.



CNR ROSEVILLE & TRAFALGAR AVE



ROSEVILLE AVE ELEVATION

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3A	SITE ANALYSIS
3A-1	Site analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context.
3B	ORIENTATION
3B-1	Building types and layouts respond to the streetscape and site while optimising solar access within the development.



PRINCIPLE 2: BUILT FORM AND SCALE

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

Good design also achieves an appropriate built form for a site and the building’s purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3B	ORIENTATION
3B-2	Overshadowing of neighbouring properties is minimised during mid winter.
3C	PUBLIC DOMAIN INTERFACE
3C-1	Transition between private and public domain is achieved without compromising safety and security.
3G	PEDESTRIAN ACCESS AND ENTRIES
3G-1	Building entries and pedestrian access connects to and addresses the public domain.
3G-2	Access, entries and pathways are accessible and easy to identify.
3H	VEHICLE ACCESS
3H-1	Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes.
3J	BICYCLE AND CAR PARKING
3J-4	Visual and environmental impacts of underground car parking are minimised.
4L	GROUND FLOOR APARTMENTS
4L-1	Street frontage activity is maximised where ground floor apartments are located.
4S	MIXED USE
4S-1	Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement.
4S-2	Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents.

The scale of the proposed development has considered the desired future character and the prescriptive controls in the LEP and DCP. The scale of the proposed building is consistent with the scale of development specified under the TOD SEPP. The proposal provides setbacks to the street and boundaries that are consistent with the DCP controls and ADG - enabling a building located in the centre of the site

FORM & ORIENTATION

The front setback responds to the street scape with a compatible alignment and landscape treatment. The proposed building is divided into three lower blocks with further articulation on edges adjoining low rise residential development. Massing is composed of;

- Primary face brick block on corner of the development, lifted above the street level with upper level articulation to break down scale. Includes punched openings, cantilevered balconies and some bay windows.
- Secondary face brick blocks with punched openings and lower parapet datums to the north west and south west corners, balconies are set into facade and on the south west corner the ground level is pushed back and shaded by an awning to better reflect patters of adjoining heritage item.
- Raked terracotta plates sit above secondary brick blocks, building on verandah vernacular seen within the neighbourhood.

Facades are broken down into widths proportionate to that of adjoining homes and in some areas visually split with recessive glass links or careful brick detailing. Setbacks are consistent with the ADG / DCP with a larger setback to Roseville Avenue recognising the heritage significance of adjoining fabric. The proposed built form provides an orientation that is focused predominately towards the two street frontages.

The building entrance engages with the street and repeats the stoop patten seen at smaller scales around the neighbourhood, combined with low landscape walls these provide a small moment for rest or waiting at the threshold between public and private life. The entrance beyond is clearly identifiable with the lift doors visible from the street while mail and parcel boxes are set to the side within the secure lobby.

The public domain interface repeats patters of adjoining development with hedges and low level fencing, several paths enable pedestrian access and vehicular access is limited off the side street. Pedestrian entry foyer is slightly above street level and lower portions of the building are carefully detailed and softened with landscape to reduce visual bulk and scale. Balconies above are positioned of living spaces and have visually open balustrades to enable passive surveillance.



HORIZONTALLY RAKED TERRACOTTA PORTAL ON UPPER LEVEL

RAKED TERRACOTTA BALCONIES TO UPPER LEVELS



STEPPED BRICK PORTAL AT RESIDENT ENTRY



STEPPED FORM ADJOINING HERITAGE ITEM

OVERSHADOWING

Adherence to required DCP setbacks and Apartment Design Guide setback controls has resulted in a form that is as anticipated by current controls. The lift overrun has been located centrally to minimise overshadowing and is integrated into adjoining roof forms. Solar diagrams and view from the sun diagrams have been shown on drawings DA-A_850 to DA-A-852.

The view from the sun diagrams show that the required number of apartments receive solar access under ADG provisions and impacts to solar access of adjoining residents are consistent with expectations under the ADG..

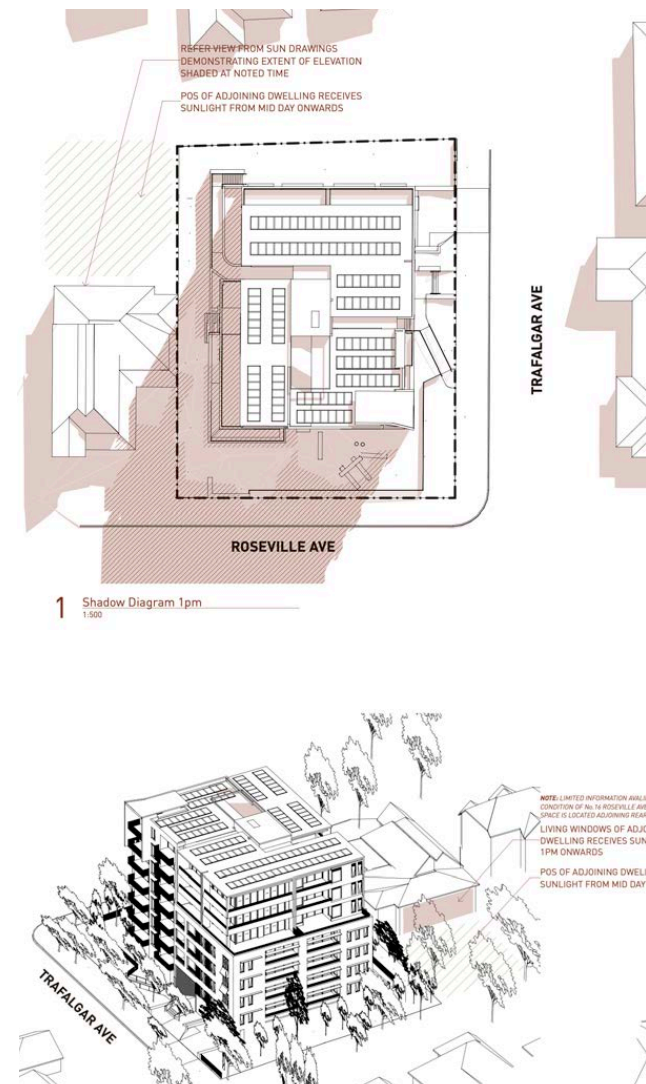
3 hours of solar access is maintained to No.16 Roseville Ave POS and Living room windows (assumed position) on June 21.

BICYCLE AND CAR PARKING

The driveway entrance has been located on Trafalgar Avenue. The garage door is recessed into the facade to reduce the visual impact, and the crossover width is not excessive.

All required car, motorcycle and bike parking and loading spaces are located in two levels of basement. Waste services are located on the upper basement level along with visitor parking. The driveway ramps up from the boundary to mitigate overland flow issues and has been designed with sufficient clearance for required service vehicles.

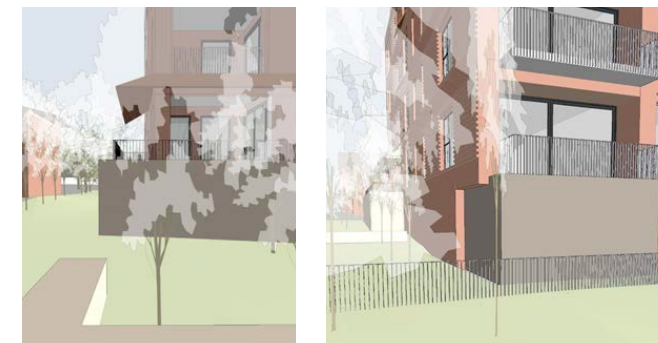
The basement is constrained by the Sydney metro line running under the site, and floor RL's determined by ramping required to mitigate above mentioned overland flow challenges. because of these limitations a portion of the basement is out of ground level, however facade detailing and landscaping in setbacks mitigate impacts of this on the street as much as possible.



1PM VIEW FROM THE SUN - SHOWING LOCATION OF ADJACENT POS AND LIVING ROOM WINDOWS



DRIVEWAY ENTRANCE OFF TRAFALGAR AVE



LOWER LEVEL FORMAL ARTICULATION INC STEPPING OF FACADE AND ALT MATERIALS



PRINCIPLE 3: DENSITY

Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.

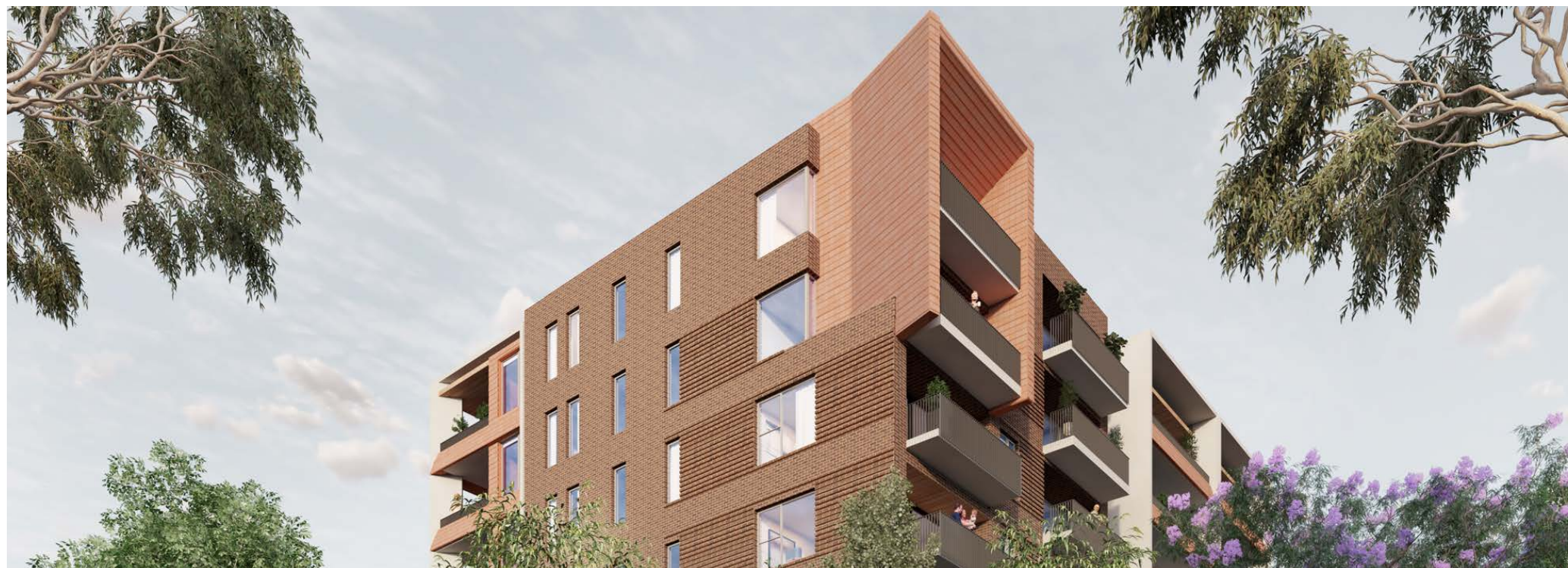
Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.

The built form is generally consistent with the setback and gross floor area nominated under the relevant SEPP and the DCP. The overall form is appropriate as described earlier for the site and the context.

The project is compliant with height limits set by the TOD SEPP and ARH SEPP.

The site is located within walking distance from shopping and dining options along the Pacific Highway. It is appropriate and consistent with transport oriented development strategies to provide residential uses of this density on the site. The existing infrastructure including public transport networks has capacity to accommodate the future residential populations. It does this with the extent appropriate for the site and the context, with consideration given to the impacts of this additional density on the adjacent properties.

Each apartment within the proposed development achieves the minimum size requirements outlined in the Apartment Design Guide. Internally the apartments are provided with good amenity and excellent access to daylight and ventilation.



PROPOSED DEVELOPMENT IN CONTEXT



PRINCIPLE 4: SUSTAINABILITY

Good design combines positive environmental, social and economic outcomes. Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials, and deep soil zones for groundwater recharge and vegetation.

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
4U	ENERGY EFFICIENCY
4U-1	Development incorporates passive environmental design.
4U-2	Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer.
4U-3	Adequate natural ventilation minimises the need for mechanical ventilation.
4V	WATER MANAGEMENT AND CONSERVATION
4V-1	Potable water use is minimised.
4V-2	Urban stormwater is treated on site before being discharged to receiving waters.
4V-3	Flood management systems are integrated into site design.
4W	WASTE MANAGEMENT
4W-1	Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents.
4W-2	Domestic waste is minimised by providing safe and convenient source separation and recycling.
4X	BUILDING MAINTENANCE
4X-1	Building design detail provides protection from weathering.
4X-2	Systems and access enable ease of maintenance.
4X-3	Material selection reduces ongoing maintenance costs.

ENERGY EFFICIENCY AND GENERATION

A comprehensive environmental assessment undertaken as part of the development application details the building’s performance and compliance in regards to BASIX requirements. In addition, passive environmental design initiatives include:

- Floorplates that embrace corner style apartments to obtain cross ventilation
- Preferential orientation towards the north, and north-east to maximise winter heating and reduce summer heat-loads.
- Use of overhangs to windows (with building projections and awnings) to provide shade in summer.
- Appropriate landscape selections with low water demand and shade to the north and west
- Maximising the perimeter of the facade and minimizing the depth to enhance daylight.
- Storage for bicycle parking for residents on each level and for visitors adjoining common space
- Exceeding minimum cross ventilation requirements
- Providing circulation spaces with access to natural light and ventilation.
- LED lighting is provided throughout private and common areas. Where appropriate, lighting is controled by daylight sensors or movement sensors to reduce energy consumption.

WATER EFFICIENCY AND REUSE

The proposal considers how potable water use can be minimised, rainwater collected for reuse and storm water retained in the landscape to maximise environmental benefits. This has been achieved by:

- Maximising the energy efficiency of fittings and fixtures listed in the BASIX schedule
- Exceeding minimum BASIX targets
- Collecting rainwater from roof surfaces for reuse in the landscape, pool and car washing
- Collecting storm water in a tank for treatment and discharge at a steady rate to reduce the impacts of down stream flooding.
- The landscape as been designed to retain water within the landscape to minimise

WASTE MANAGEMENT

Waste management facilities are provided for residential waste, including facilities for recycling. Collection is available on site in on the

upper basement level in accordance with council guidelines. The waste facilities are hidden from view from the public domain to minimise impacts on the street. Space is provided for different streams of recycling available within the local government area. The application is supported by a waste report

FLOOD MANAGEMENT

Stormwater control and rainwater collection is integrated into the proposed landscape design, with the OSD tank positioned adjoining basement parking on Roseville Ave integrated into POS of Apartment 0.05. The driveway ramps in the front setback have been designed to prevent ingress of overland flow into basement levels and the foyer has been positioned well above the required flood RL’s, a flood assessment and concept stormwater plan accompanies this application.

MATERIALITY & BUILDING MAINTENANCE

External materials have been selected to minimise maintenance and provide lasting durability. The selected external finishes include, face brick, glass, aluminium (timber look) and terracotta cladding. These finishes have been selected for their durability and ease of maintenance. These elements are appropriate for both their hard-wearing properties and as a response to materials found in properties of the immediate locality.

There will be consideration for the use of low carbon concrete for structure. Allows less cement to be used in the concrete manufacturing process without impacting on performance.

TITLE



PRINCIPLE 5: LANDSCAPE

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.

Good landscape design enhances the development’s environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values, and preserving green networks. Good landscape design optimises usability, privacy and opportunities for social interaction, equitable access, respect for neighbours’ amenity, provides for practical establishment and long term management.

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3C	PUBLIC DOMAIN INTERFACE
3C-1	Transition between private and public domain is achieved without compromising safety and security.
3C-2	Amenity of the public domain is retained and enhanced.
3D	COMMUNAL AND PUBLIC OPEN SPACE
3D-1	An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping.
3D-2	Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.
3D-4	Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood.
3E	DEEP SOIL ZONES
3E-1	Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality.
40	LANDSCAPE DESIGN
40-1	Landscape design is viable and sustainable
40-2	Landscape design contributes to the streetscape and amenity.
4P	PLANTING ON STRUCTURES
4P-1	Appropriate soil profiles are provided.
4P-2	Plant growth is optimised with appropriate selection and maintenance.
4P-3	Planting on structures contributes to the quality and amenity of communal and public open spaces.

LANDSCAPE DESIGN & DEEP SOIL

The landscape design by Paul Scrivener Landscape Architect has been designed in conjunction with the architecture to produce a unified scheme. The form of the building is set back from the boundaries to provide room for substantial landscaping and planting. This helps to define the interface between the development and surrounding homes while balancing visual privacy and views from the site.

Many of the species chosen are endemic species and drought resistant. Varying foliage and flowering types create visually rich gardens and edges to the site. Street tree planting is enabled at the perimeter of the site, with trees carefully chosen to suit the location. Natural street scape style planting to the project frontages helps blend the common space landscaping and soften the buildings edge, while providing privacy and allowing for passive surveillance.

The corner of Roseville and Trafalgar Avenue is the lowest part of the site, so substantial landscape has been included at this corner to ensure that the street frontage is defined by landscape rather than the fence of the common open spaces. The landscape plan illustrates that there are medium to large trees proposed in the street setbacks.

COMMUNAL & PUBLIC OPEN SPACE

Communal open space (COS) is provided at ground level and within various setbacks around the proposal. This is considered sufficient to meet the needs of the residents in the small development. The lower level COS allows for active and passive use and provides a beautiful landscape to look out on from the upper level apartments. This COS enables an oppourtunity for quieter activities for residents. A covered paved seating, dining and BBQ area are provided. family friendly landscaped spaces and lawns are provided within setbacks to enable a greater diversity of use from residents and contribute to life on the street typical of adjoining front yards.

DESIGN CRITERIA		
3D-1 COMMUNAL OPEN SPACE		Complies.
1. Communal open space has a minimum area equal to 25% of the site.	25.3%	
2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter).		
3E-1 DEEP SOIL		Complies.
1. Deep soil zones are to meet the following minimum requirements:	42%	
Site Area	Min dimensions	Deep soil zone [% of site area]
>1,500m ²	6m	7%



LANDSCAPE PLAN EXTRACT - REAR COMMUNAL OPEN SPACE



PRINCIPLE 6: AMENITY

Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being.

Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, and ease of access for all age groups

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3J	BICYCLE AND CAR PARKING
3J-1	Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas.
3J-2	Parking and facilities are provided for other modes of transport.
3F	VISUAL PRIVACY
3F-1	Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy.
3F-2	Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space.
4A	SOLAR AND DAYLIGHT ACCESS
4A-1	To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space.
4A-2	Daylight access is maximised where sunlight is limited.
4A-3	Design incorporates shading and glare control, particularly for warmer months.
4B	NATURAL VENTILATION
4B-1	All habitable rooms are naturally ventilated.
4B-2	The layout and design of single aspect apartments maximises natural ventilation.
4B-3	The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents.
4C	CEILING HEIGHTS
4C-1	Ceiling height achieves sufficient natural ventilation and daylight access.
4C-2	Ceiling height increases the sense of space in apartments and provides for well proportioned rooms.
4C-3	Ceiling heights contribute to the flexibility of building use over the life of the building.

VISUAL PRIVACY

The proposed development is setback from the internal boundaries to provide equitable privacy on adjoining land. Compliant ADG setbacks have been adhered to. Visual privacy is provided between the proposed development and the adjoining existing homes through adequate building separation, planting to the shared rear boundaries, limit of glazing to the rear boundaries. The apartments orientated towards the street (where the building separation is increased over the road corridor), apartments have larger windows and longer balconies to capture the views.

DESIGN CRITERIA		
1. Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:		
BUILDING HEIGHT	HABITABLE ROOMS AND BALCONIES	NON-HABITABLE ROOMS
Up to 12m (4 storeys)	6m	3m
Up to 25m (5-8 storeys)	9m	4.5m

3m setback with minor vertical windows to habitable rooms.

SOLAR & DAYLIGHT ACCESS

The level of solar access achieved is consistent with the ADG design criteria. The view from the sun plans demonstrate compliance with the design criteria. Calculations are provided on drawings 851 and 852. The south-facing apartments which do not achieve solar midwinter still have excellent amenity by benefiting from cross ventilation and the broad longer views over the neighbourhood to Chatswood and north Sydney beyond.

Apartments are designed compliant with the maximum depth as outlined in the ADG to maximise daylight access. The 8m depth of combined living, dining and kitchens is measured from the front of the rear kitchen counters (as the fixed cabinetry is not

habitable space) and this allows adequate room for circulation around dining tables. Internal communal spaces have good access to daylight with all corridor having windows near the lift.

DESIGN CRITERIA	
1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas	75%
3. A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter.	15%

NATURAL VENTILATION

Designed around a central cores, most apartments are corner cross ventilated. All corridors are provided natural ventilation. Calculations and flow paths are provided on drawing 804.

DESIGN CRITERIA	
1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilate	75%

CEILING HEIGHTS

A 3.2m floor to floor height for residential uses allows for a 2.7m ceiling height and sufficient space for services. Floor to floor heights in the lower levels have been determined to allow appropriate ceiling heights and allowance for services and transfer structure.

DESIGN CRITERIA	
1. Measured from finished floor level to finished ceiling level, minimum ceiling heights are:	2.7m ceilings achieved
MINIMUM CEILING HEIGHT FOR APARTMENT AND MIXED USE BUILDINGS	
Habitable rooms	2.7m
Non-habitable	2.4m



RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
4D	APARTMENT SIZE AND LAYOUT
4D-1	The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.
4D-2	Environmental performance of the apartment is maximised.
4D-3	Apartment layouts are designed to accommodate a variety of household activities and needs.
4E	PRIVATE OPEN SPACE AND BALCONIES
4E-1	Apartments provide appropriately sized private open space and balconies to enhance residential amenity.
4E-2	Primary private open space and balconies are appropriately located to enhance liveability for residents.
4E-3	Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.

APARTMENT SIZE AND LAYOUT & STORAGE & PRIVATE OPEN SPACE

The proposal demonstrates good design and high amenity. This is achieved by:

- Room sizes that are of a good size with a good outlook
- Rational layouts that minimise circulation spaces.
- Private open space areas meet minimum sizes of the ADG and are configured to be functional and conducive to recreational use. All are accessed from living areas.
- Storage is provided within the unit and in basement cages

DESIGN CRITERIA	
4D-1 Apartment layouts	Complies
1. Apartments are required to have the following minimum internal areas:	Refer to calculations on plans
APARTMENT TYPE	MIN INTERNAL AREA
Studio	35m²
1 bedroom	50m²
2 bedroom	70m²
3 bedroom	90m²
The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each.	
2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.	
4D-2 Apartment layouts	Complies
1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height	Refer to plans
2. In open plan layouts (where living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window)	

DESIGN CRITERIA

4D-3 Apartment layouts

Complies refer to plans

1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space).

2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space).

3. Living rooms or combined living/dining rooms have a minimum width of:

• 3.6m for studio and 1 bedroom apartments

• 4m for 2 and 3 bedroom apartments

4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

4E-1 Private open space and balconies

Complies refer to plans

1. All apartments are required to have a primary balconies as follows:

DWELLING TYPE	MIN AREA	MIN DEPTH
Studio apartments	4m ²	
1 bedroom apartments	8m ²	2m
2 bedroom apartments	10m ³	2m
3+ bedroom apartments	12m ³	2.4m

2. For apartments at ground level or on a podium a private open space is provided instead of a balcony. It must have a min area of 15m² and minimum depth of 3m.

DESIGN CRITERIA



RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
4E-4	Private open space and balcony design maximises safety.
4G	STORAGE
4G-1	Adequate, well designed storage is provided in each apartment.
4G-2	Additional storage is conveniently located, accessible and nominated for individual apartments.
4H	ACOUSTIC PRIVACY
4H-1	Noise transfer is minimised through the siting of buildings and building layout.
4H-2	Noise impacts are mitigated within apartments through layout and acoustic treatments.
4J	NOISE AND POLLUTION
4J-1	In noisy or hostile environments the impacts of external noise and pollution are minimised through the careful siting and layout of buildings.
4J-2	Appropriate noise shielding or attenuation techniques for the building design, construction and choice of materials are used to mitigate noise transmission.

4G Storage	Complies
1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:	Refer to calcuations on the floor plans
DWELLING TYPE	STORAGE SIZE VOLUME
Studio apartments	4m³
1 bedroom apartments	6m³
2 bedroom apartments	8m³
3+ bedroom apartments	10m³
At least 50% of the required storage is to be located within the apartment.	

ACOUSTIC PRIVACY

Noise transfer between apartments is controlled by building construction which will exceed minimum standards in the NCC. Setbacks are appropriate to minimise acoustic impacts on adjacent properties.

NOISE AND POLLUTION

The site is not subject to significant noise from external sources The facade will have glazing nominated by BASIX to ensure internal noise levels are appropriate for the location.

CAR AND BICYCLE PARKING

Car parking is provided over two basement levels along with plant, switch rooms and storage areas.This space is intended to be direct and clearly visible and well lit with good access from the common circulation areas. The car park is efficiently designed to minimise the footprint with a logical grid and structure. Bicycle parking is positioned on each level adjoining the core and next to the covered outdoor common space.

DESIGN CRITERIA	
3J BICYCLE AND CAR PARKING	Complies.
1. For development in the following locations:	Car parking rates are provided in accordance with the RMS guide and council DCP.
• on sites that are within 800 metres of a railway station or light rail stop in the Sydney Metropolitan Area; or	
• on land zoned, and sites within 400 metres of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less.	Bicycle parking is provided in accordance with council DCP.
The car parking needs for a development must be provided off street.	



PRINCIPLE 7: SAFETY

Good design optimises safety and security, within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.

A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit

PUBLIC DOMAIN INTERFACE

The development ensures casual surveillance of the street scape and publicly accessible areas of the site by means of the street facing apartments with habitable room windows and private open spaces oriented towards these areas. A visual connection is provided from the street to the residential entries. The apartments to the street are higher than the footpath level, allowing residents to maintain privacy but also look out to the street.

Front fences are well setback behind landscape and define the public domain. The type of fence selected comprised of metal flats are contemporary but comparable to existing adjoining fencing. They also allow for surveillance to the street while giving privacy to the common open spaces. Landscaping has been used to further buffer the POS.

COMMUNAL OPEN SPACE

The communal spaces will be well lit and avoid opportunities for concealment. They are accessible to residents and guests, and building maintenance staff only.

The ground floor communal open space is readily visible from habitable rooms and private open spaces. The fence and planting to the ground level communal open space provides visual privacy while enabling passive surveillance. The communal facilities provide adequate space for a variety of activities that will provide a safe and secure environment suited to the needs of the future residents..

PEDESTRIAN ACCESS, ENTRIES AND COMMON CIRCULATION SPACES

The main residential entry faces the street and is highlighted by stepped brick portal detailing and recessed glazed doors, making it a clear entry point. The entrance has clear visibility from the street - improving safety. Letterboxes are located within the lobby, clearly visible from the street, for enhanced security. The front lobby doors will be accessible only to residents, with security fob or key. Individual apartments will be key locked. Windows and sliding doors will also be key-lockable. Vehicle entry to the basement will be restricted to residents, building maintenance and waste collection only, with access controlled by a pass or fob. Visitor parking is provided on the upper level of basement, however intercom or fob access will be required into the parking area by a resident.

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3C	PUBLIC DOMAIN INTERFACE
3C-1	Transition between private and public domain is achieved without compromising safety and security.
3C-2	Amenity of the public domain is retained and enhanced.
3D	COMMUNAL AND PUBLIC OPEN SPACE
3D-3	Communal open space is designed to maximise safety.
3G	PEDESTRIAN ACCESS AND ENTRIES
3G-1	Building entries and pedestrian access connects to and addresses the public domain.
3G-2	Access, entries and pathways are accessible and easy to identify.
3G-3	Large sites provide pedestrian links for access to streets and connection to destinations.
3J	BICYCLE AND CAR PARKING
3J-3	Car park design and access is safe and secure.
4F	COMMON CIRCULATION AND SPACES
4F-2	Common circulation spaces promote safety and provide for social interaction between residents.
4S	MIXED USE
4S-1	Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement.



PASSIVE SURVEILLANCE TO THE STREET AND CLEAR ENTRANCES



PRINCIPLE 8: HOUSING DIVERSITY AND SOCIAL INTERACTION

Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.

Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix. Good design involves practical and flexible features, including different types of communal spaces for a broad range of people, providing opportunities for social interaction amongst residents.

OPPORTUNITIES FOR SOCIAL INTERACTION - COMMON CIRCULATION SPACES, COMMON OPEN SPACE AND PUBLIC OPEN SPACE

Typical lower claws have a maximum of 7 units for per core. The top floors have 5 units accessible from the core. This is consistent with the design guidance that requires a maximum of 8 on a single level. Windows are provided to the common circulation space enabling natural daylight ventilation

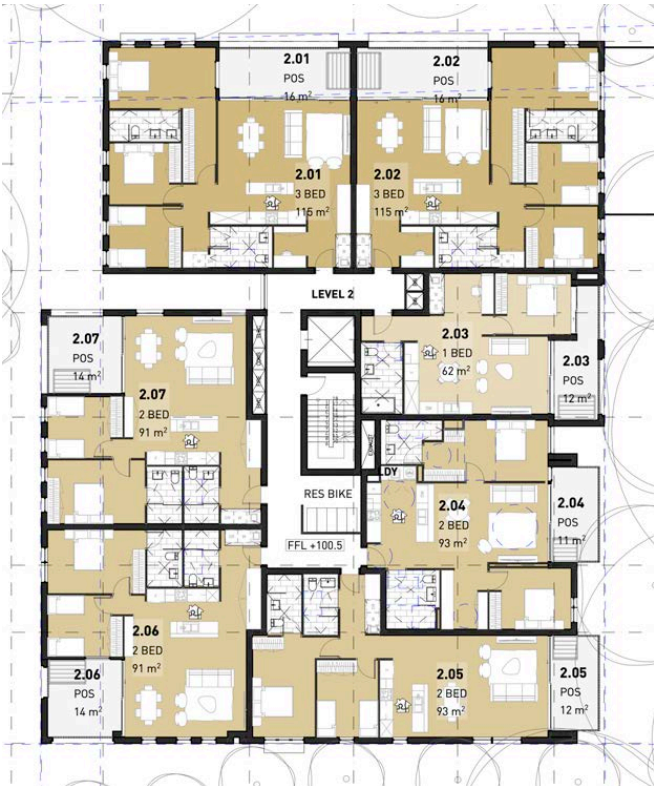
A small sitting areas provided at the front entrance and stoop that provides opportunities for respite and passing social interaction.

APARTMENT MIX

The proposed development will assist in providing for the growing demand of residential accommodation with good proximity transport and smaller local centres. A diversity of apartment types and Styles are provided with a mix of 1, 2 & 3 bedroom single level apartments. Housing choice is therefore provided for which response to general market needs.

UNIVERSAL DESIGN

The propose development contains 35% silver level apartments with universal design features. Community space includes universal access and an accessible bathroom. Parking and basement areas are accessible by lift and the front door / rear path include ramps for wheelchairs, bikes, prams and walkers. ,



RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
3D	COMMUNAL AND PUBLIC OPEN SPACE
3D-2	Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.
4F	COMMON CIRCULATION AND SPACES
4F-1	Common circulation spaces achieve good amenity and properly service the number of apartments.
4F-2	Common circulation spaces promote safety and provide for social interaction between residents.
4K	APARTMENT MIX
4K-1	A range of apartment types and sizes is provided to cater for different household types now and into the future.
4K-2	The apartment mix is distributed to suitable locations within the building.
4Q	UNIVERSAL DESIGN
4Q-1	Universal design features are included in apartment design to promote flexible housing for all community members.
4Q-2	A variety of apartments with adaptable designs are provided.
4Q-3	Apartment layouts are flexible and accommodate a range of lifestyle needs.



PRINCIPLE 9: AESTHETICS

Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.

The visual appearance of well designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.

RELEVANT APARTMENT DESIGN GUIDELINE OBJECTIVES	
4M	FACADES
4M-1	Building facades provide visual interest along the street while respecting the character of the local area.
4M-2	Building functions are expressed by the facade.
4N	ROOF DESIGN
4N-1	Roof treatments are integrated into the building design and positively respond to the street.
4N-2	Opportunities to use roof space for residential accommodation and open space are maximised.
4N-3	Roof design incorporates sustainability features.
4T	AWNINGS AND SIGNAGE
4T-1	Awnings are well located and complement and integrate with the building design.
4T-2	Signage responds to the context and desired streetscape character.
4X	BUILDING MAINTENANCE
4X-1	Building design detail provides protection from weathering.
4X-2	Systems and access enable ease of maintenance.
4X-3	Material selection reduces ongoing maintenance costs.

FACADES

Composition and proportion of facade is balanced and broken into distinct but contemporary elements which reflect the internal program and reinforced the required setbacks. The base level of the building is recessed and more intricately detailed than the blocks above referencing adjoining built form. The basement is integrated into the base of the building and articulated to reduce bulk and scale, while planting screens the base of the building reducing its visual impact overall.

A mid tone Face brick and masonry elements are used for the upper levels to provide contrast and distinction between the different building components. These components respond to the internal layout, circulation spaces and scaling of building form. Upper levels have a timber looks soffit lining to provide richness to material pallet at the upper level.

ROOF DESIGN

Upper levels are further set back when abutting adjoining lots. The roof is made up of several height planes in a nod to adjoining formal patters, while the flat roof is uncommon for the immediate area its considered more sympathetic than pitched forms that would add unnessecary bulk and scale to the development. The lift overrun is set in the centre of the roof and integrated with adjoining form to minimise visual impact.

BUILDING MAINTENANCE

Face brick and terracotta facades have been chosen because of their easy maintenance. Aluminium windows and selected anodised metalwork components are easy to maintain. By limiting the material selection providing a robot structure maintenance will be reduced.to maintain.

Roof anchors can be provided so that maintenance of the facade can be facilitated by abseiling. Building maintenance euipment will be located on the roof of each tower



EXTERNAL MATERIALS / AESTHETICS





STATEMENT OF ENVIRONMENTAL EFFECTS



*Demolition and Construction of a 8 Storey
Residential Flat Building comprising 41 units
over a basement level*

18-20 Roseville Avenue, Roseville

MAY 2025

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Statement of Environmental Effects
18-20 Roseville Avenue, Roseville
Demolition and Construction of a 8 Storey Residential Flat Building comprising 41 units over a basement level



1.0 INTRODUCTION

- 1.1 This statement has been prepared in support of a development application to the Ku-Ring-Gai Council (the "Council") for demolition of all existing building and structures and construction of a new 8 storey residential flat building comprising 41 units over a basement level at 18-20 Roseville Avenue, Roseville (the site). The proposal includes the required allocation of the buildings' total floor space as affordable housing, communal open space and site landscaping. The development includes all of the required civil and stormwater infrastructure.
- 1.2 The site is zoned R2 Low Density Residential under the *Ku-Ring-Gai Local Environmental Plan 2015* (KLEP 2015). 'Residential flat buildings' are made permissible under Chapter 5 of the *State Environmental Planning Policy (Housing) 2021* as the site is located within a Transport Orientated Development (TOD) area, being generally within 400m of Roseville railway station and identified on the *Transport Orientated Development Sites Map*.
- 1.3 The site is located approximately 200m to the north east of the Roseville railway station and local centre positioned on the Pacific Highway. The surrounding lands are located within the TOD area identified to support future medium and high density in-fill housing, being within an accessible area with access to public transport infrastructure, services and employment opportunities. The development represents the emerging and future character of this immediate area and delivers much needed housing and affordable housing for the local community. The future character that is delivered by virtue of State planning controls designed to incentivise housing/density can be considered in the assessment of the application see (*Big Property v Randwick Council* and *Pavlakos Capital v Canterbury Council*)
- 1.4 The proposal includes 10% of the total floor area of the building to be allocated as affordable housing as per the requirements under Clause 156 of Chapter 5 under the *State Environmental Planning Policy (Housing) 2021* (Housing SEPP). The development is able to utilise up to 30% additional building height and FSR incentives under Chapter 2 of the Housing SEPP on the basis that at least 10% of all units will be retained as affordable housing and managed by a community housing provider for at least 15 years. The proposal utilises only part of the possible 30% additional height incentive and does not utilise any of the possible 30% FSR bonus. The applicable 10.64% affordable housing dedication under Chapter 2 is provided over and above the 2% affordable housing allocation under Chapter 5 – Transport Orientated Development.
- 1.5 The proposal has been assessed against Chapters 2, 4 and 5 of the Housing SEPP as well as the design considerations under Schedule 9, and the Apartment Design Guide (ADG). It demonstrates compliance with the non-discretionary standards under the Housing SEPP and general alignment with the relevant design considerations under the ADG including car parking, private open space, communal open space, landscaping, separation distances and visual privacy, solar access, overshadowing and visual appearance. The design presented in the scheme developed by Smith & Tzannes is contemporary, innovative with a high standard of materiality and finishes.
- 1.6 The design also largely complies with the relevant planning objectives and controls under the Ku Ring Gai Development Control Plan. Variations to the particular local controls that are inconsistent with the new State planning framework for the TOD areas are addressed later in this statement and suitably justified given compliance with those higher order State policies and the ADG.

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- 1.7 The development application is supported by detailed architectural plans prepared by Smith & Tzannes plus technical reports and plans in the areas of energy performance (BASIX), stormwater and civil engineering; geotechnical report; traffic impact assessment and arboricultural reporting.
- 1.8 The subject proposal is not Integrated or Designated Development pursuant to the *EP&A Act 1979*. The proposal is Local Development, to be assessed under Part 4 of the *EP&A Act 1979*.
- 1.9 This document has been prepared pursuant to Section 4.12 of the Act, and cl.47 and Part 3, Division 1 of the *Environmental Planning and Assessment Regulation 2021* and reviews the applicable environmental planning instruments and development control plans that apply to the subject property as well as the environmental impacts of the proposal with reference to the relevant heads of consideration listed under s4.15 of the Act.
- 1.10 The proposal provides much needed affordable housing to meet the needs of the community in an accessible and emerging inner-suburban precinct. The proposed development will deliver contemporary internal layouts and a generally high standard of residential amenity and liveability. It is for these reasons that the proposal is deemed to be in public interests and worthy of support.

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2.0 SITE AND SURROUNDS

Description of the Site

- 2.1 The subject site comprises two allotments legally described as Lots 3 & 4 in DP 1046734, 18-20 Roseville Avenue, Roseville. It is a corner lot located on the northern side of Roseville Avenue and the western side at the intersection with Trafalgar Avenue.
- 2.2 The site has an area of 2,073m² with a frontage of 40.23m to Roseville Avenue along its southern boundary and an eastern boundary frontage of 51.99m to Trafalgar Avenue. The site is generally rectangular in shape with a western side boundary of 50.89m and a northern rear boundary of 40.245m. The site is shown in Figures 1 and 2.
- 2.3 The site falls from the south-eastern corner at Roseville Avenue through to the rear in a north-easterly direction by approximately 3m. The site drains to Trafalgar Avenue and presently benefits from two separate vehicular cross-overs and driveways to Roseville Avenue. It is located atop of the new Sydney Metro tunnel.

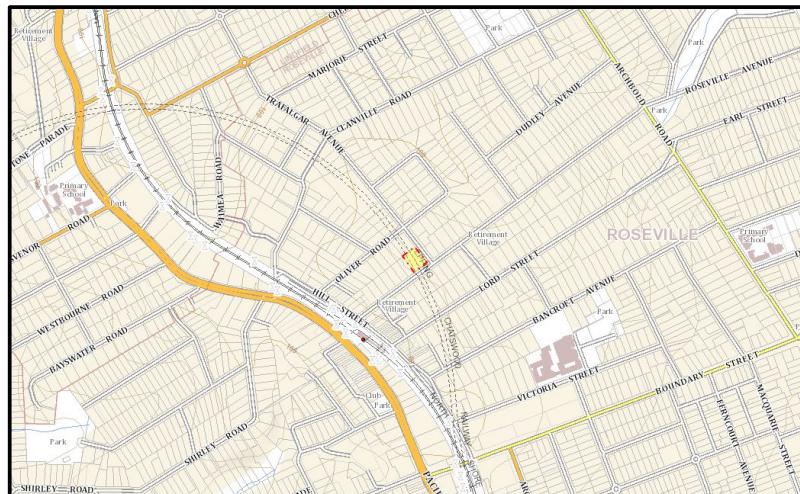


Figure 1: Location of the Site (Source: Six Maps)

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Figure 2: Aerial view of site (Source: SixMaps)

General Arrangements

- 2.4 The site is currently occupied by two detached dwelling houses with associated landscaped gardens and garaging. The dwelling occupying No. 18 is a single storey brick dwelling of a modified inter-war style whilst a more contemporary 2 storey dwelling occupies No. 20 on the corner.
- 2.5 Views of the properties are provided in Figures 3-4 below:



Figure 3: View of the site and current dwellings from Roseville Avenue (Source: Google Maps)

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Figure 4: View of No. 20 from Trafalgar Avenue (Source: Google Maps)

Surrounding Context

- 2.6 The surrounding area is an established low density residential suburban precinct comprising single and double storey dwellings. Much of the surrounding area has been identified as part of a TOD area and is subject to redevelopment opportunities under Chapter 5 of the Housing SEPP. It is anticipated that many of the surrounding sites will be redeveloped in a similar fashion over the forthcoming years to support medium and high density housing in form of residential apartments.
- 2.7 The site is within an accessible location, within walking distance to essential services and public transportation along to the south-east in the Roseville local centre. The site is located within a short walking distance of the following key services and assets:
- Roseville railway station
 - Hill Street health hub
 - Places of public worship
 - Schools and preschools
 - Supermarkets and grocers
 - Cafes and restaurants
 - Roseville cinemas
 - Bus stops along the Pacific Highway
 - Numerous local parks
 - Specialty retail stores

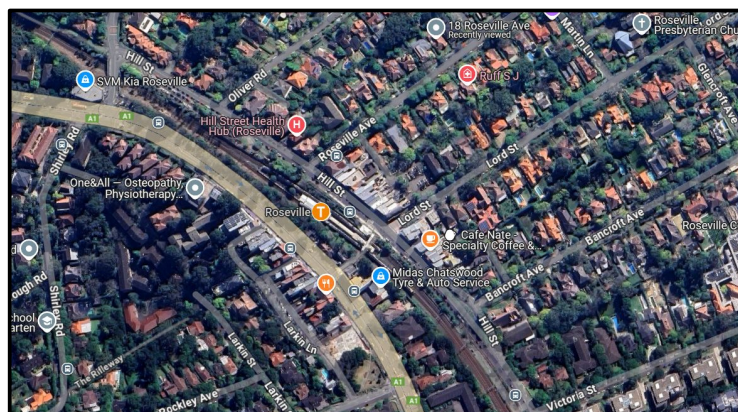


Figure 5: Surrounding context and established services in the Roseville local centre (Source: Google Maps)

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3.0 DESCRIPTION OF PROPOSAL

The proposed development includes demolition of the existing dwellings, excavation and construction of a new 8 storey residential flat development above basement level parking. The proposal also includes new internal stormwater network, utility infrastructure connections and site landscaping.

The proposal includes allocation for 10%(under Chapter 2) and 2% (under Chapter 5 - cl 156 (2)) of the total gross floor area (GFA) of the building as affordable housing. The affordable rental units comprising 12% of the total GFA will be managed by a community housing provider for a period not less than 15 years.

The proposed new floor plans are shown in Figures 6-10 and proposed sections and elevations are shown in Figures 11-14.

A summary of the key development metrics are presented in Table 1 below:

Table 1 – Development Summary

Development Feature	Metric
Site Area	2,069m ²
GFA Proposed	4,696m ²
Total GFA Proposed as Affordable	594sqm minimum (12.64%)
FSR Proposed	2.27:1 (up to 3.25:1 permitted under SEPP)
Height	26.61m (max height permissible is 22m plus 21.2% = 26.66m)
Site Coverage	44.6%
Landscape Area	873m ² (621sqm Required under SEPP)
Communal Open Space	523m ² (517 sqm required under ADG)
Deep Soil Zone	870sqm (311 sqm required under SEPP)
Total No. of Units	41
Affordable Units	6
1 bedroom units	3
2 bedroom units	21
3 bedroom units	17
Car Parking	45 spaces, 1 loading bay, 6 bicycle racks / spaces for visitors and 41 bicycle spaces for residents distributed throughout the building.

All units will be provided with dedicated private open space in the form of ground level courtyards and upper-level balconies. An overview of the proposed units is provided in Table 2 below.

Table 2 – Unit Details

Unit No.	Proposed
0.01	3 bedroom, 2 bathroom 115sqm with 16sqm POS
0.02	3 bedroom, 2 bathroom 115sqm with 16sqm POS
0.03	2 bedroom, 2 bathroom 93sqm with 11sqm POS
0.04	2 bedroom, 2 bathroom 93sqm with 12sqm POS
0.05	2 bedroom, 2 bathroom 86sqm with 45sqm POS
1.01	3 bedroom, 2 bathroom 115sqm with 16sqm POS
1.02	3 bedroom, 2 bathroom 115sqm with 16sqm POS
1.03	1 bedroom, 1 bathroom 62sqm with 12sqm POS

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1.04	2 bedroom, 2 bathroom 93sqm with 12sqm POS
1.05	2 bedroom, 2 bathroom 93sqm with 12sqm POS
1.06	2 bedroom, 2 bathroom 91sqm with 14sqm POS
1.07	2 bedroom, 2 bathroom 91sqm with 14sqm POS
2.01	3 bedroom, 2 bathroom 115sqm with 16sqm POS
2.02	3 bedroom, 2 bathroom 115sqm with 16sqm POS
2.03	1 bedroom, 1 bathroom 62sqm with 12sqm POS
2.04	2 bedroom, 2 bathroom 93sqm with 12sqm POS
2.05	2 bedroom, 2 bathroom 93sqm with 12sqm POS
2.06	2 bedroom, 2 bathroom 91sqm with 14sqm POS
2.07	2 bedroom, 2 bathroom 91sqm with 14sqm POS
3.01	3 bedroom, 2 bathroom 115sqm with 16sqm POS
3.02	3 bedroom, 2 bathroom 115sqm with 16sqm POS
3.03	1 bedroom, 1 bathroom 62sqm with 12sqm POS
3.04	2 bedroom, 2 bathroom 92sqm with 12sqm POS
3.05	2 bedroom, 2 bathroom 93sqm with 12sqm POS
3.06	2 bedroom, 2 bathroom 91sqm with 14sqm POS
3.07	2 bedroom, 2 bathroom 91sqm with 14sqm POS
4.01	2 bedroom, 2 bathroom 84sqm with 13sqm POS
4.02	3 bedroom, 2 bathroom 128sqm with 39sqm POS
4.03	2 bedroom, 2 bathroom 93sqm with 11sqm POS
4.04	3 bedroom, 2 bathroom 109sqm with 12sqm POS
4.05	3 bedroom, 2 bathroom 110sqm with 21sqm POS
5.01	2 bedroom, 2 bathroom 84sqm with 13sqm POS
5.02	3 bedroom, 2 bathroom 128sqm with 39sqm POS
5.03	2 bedroom, 2 bathroom 93sqm with 11sqm POS
5.04	3 bedroom, 2 bathroom 109sqm with 12sqm POS
5.05	3 bedroom, 2 bathroom 110sqm with 21sqm POS
6.01	2 bedroom, 2 bathroom 84sqm with 13sqm POS
6.02	3 bedroom, 2 bathroom 128sqm with 39sqm POS
6.03	2 bedroom, 2 bathroom 93sqm with 11sqm POS
6.04	3 bedroom, 2 bathroom 109sqm with 11sqm POS
6.05	3 bedroom, 2 bathroom 110sqm with 21sqm POS

The new building will be of masonry construction with steel framing, concrete rendered panels, feature face brickwork, terracotta tiles, limited sections of stonework, glazing and aluminium framed windows and balustrading to balconies. The design includes contemporary flat roofs with box guttering and articulated facades with recessions and inset cores. Internally, modular layouts have been adopted across Levels 1-3 and 4-6 for efficiency of construction and circulation.

Deep soil and soft landscaping areas are provided around the edge of the building within the setback zones and utilised across the frontage to soften the visual impacts of the built form. Of note is the fact that the basement is set well in from the site boundaries to ensure deep soil zones are present around the perimeter of the site.

The basement level is provided with a partial ground level comprising parking towards the low (western) side of the site and lobby for pedestrians accessible from Trafalgar Avenue. A dedicated vehicular access driveway is provided from the rear of the site off Trafalgar Avenue.

The ground level (referred to as Level C1 on the plans) includes 16 parking spaces, visitor bicycle storage racking, waste storage rooms, a lobby, services and plant as well as resident storage lockers and a loading / car wash area internal to the building.

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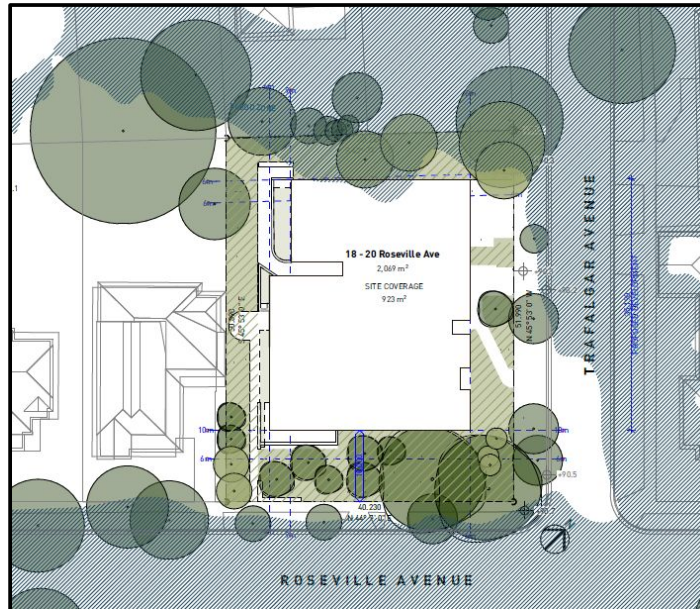


Figure 6: Site Arrangement Plan (Source: Smith & Tzannes)

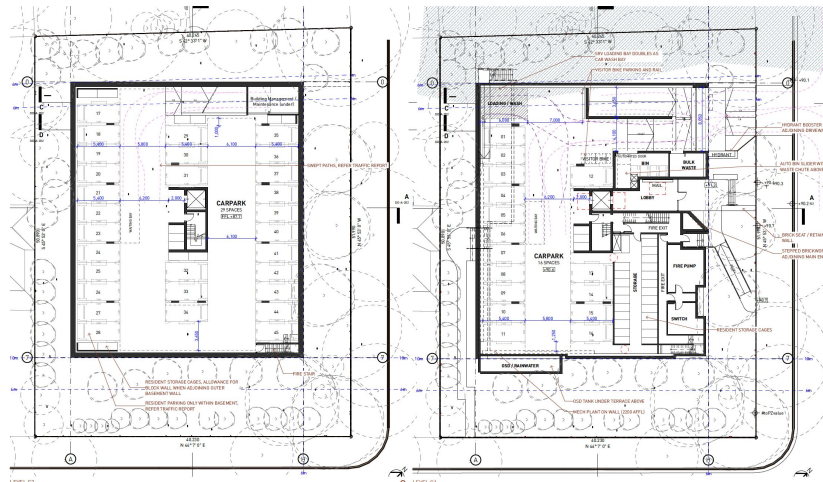


Figure 7: Basement level (left) and ground (Level C1)(right) (Source: Smith & Tzannes)

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Figure 8: Level 0 (Source: Smith & Tzannes)



Figure 9: Levels 1-3 (Source: Smith & Tzannes)



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Figure 11: Roseville Avenue elevation (Source: Smith & Tzannes)

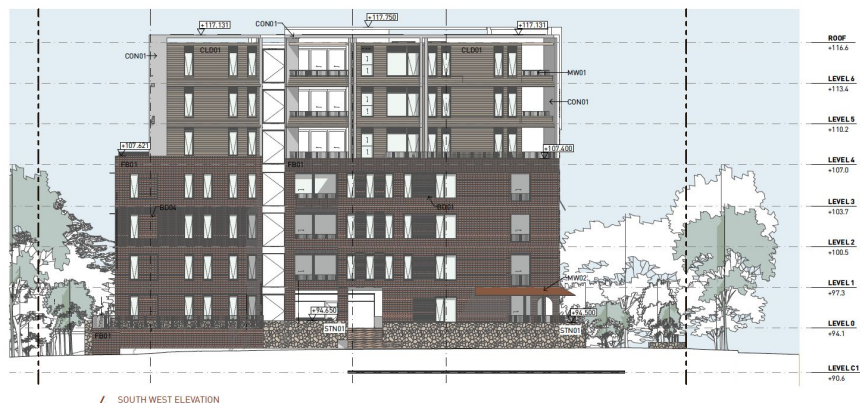


Figure 12: South western elevation (Source: Smith & Tzannes)

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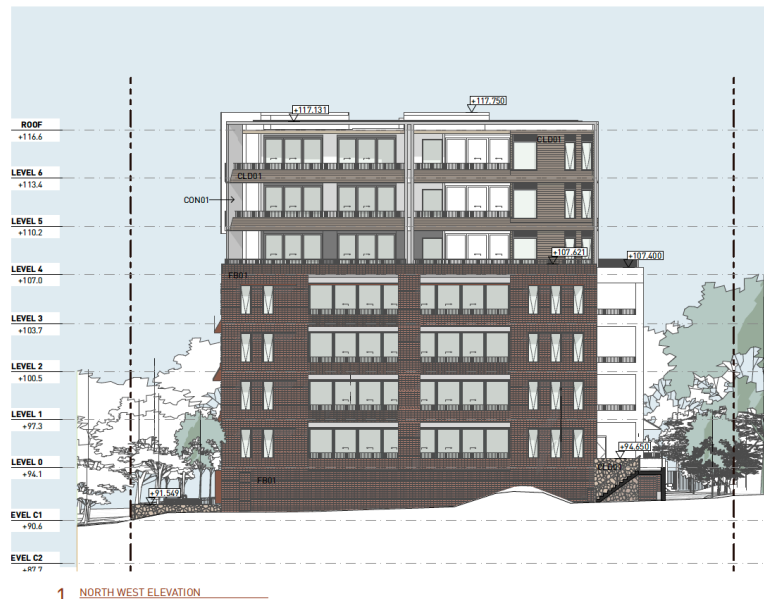


Figure 13: North western elevation (Source: Smith & Tzannes)



Figure 14: Trafalgar Avenue elevation (Source: Smith & Tzannes)

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4.0 SECTION 4.15 ASSESSMENT – HEADS OF CONSIDERATION

This section of the report considers the development assessed against the relevant heads of consideration of Section 4.15 of the Act:

4.15 Evaluation

(1) Matters for consideration—general In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provisions of:

(i) any environmental planning instrument, and

(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

(iii) any development control plan, and

(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and

(v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

(c) the suitability of the site for the development,

(d) any submissions made in accordance with this Act or the regulations,

(e) the public interest.

(2) Compliance with non-discretionary development standards—development other than complying development If an environmental planning instrument or a regulation contains non-discretionary development standards and development, not being complying development, the subject of a development application complies with those standards, the consent authority:

(a) is not entitled to take those standards into further consideration in determining the development application, and

(b) must not refuse the application on the ground that the development does not comply with those standards, and

(c) must not impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards, and the discretion of the consent authority under this section and section 4.16 is limited accordingly.

(3) If an environmental planning instrument or a regulation contains non-discretionary development standards and development the subject of a development application does not comply with those standards:

(a) subsection (2) does not apply and the discretion of the consent authority under this section and section 80 is not limited as referred to in that subsection, and

(b) a provision of an environmental planning instrument that allows flexibility in the application of a development standard may be applied to the non-discretionary development standard.

(3A) Development control plans If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority:

(a) if those provisions set standards with respect to an aspect of the development and the development application complies with those standards—is not to require more onerous standards with respect to that aspect of the development, and

(b) if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards—is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and

(c) may consider those provisions only in connection with the assessment of that development application. In this subsection, standards include performance criteria.

(4) Consent where an accreditation is in force A consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does

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not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of that requirement in accordance with the regulations.

(5) A consent authority and an employee of a consent authority do not incur any liability as a consequence of acting in accordance with subsection (4). (6) Definitions In this section: (a) reference to development extends to include a reference to the building, work, use or land proposed to be erected, carried out, undertaken or subdivided, respectively, pursuant to the grant of consent to a development application, and (b) non-discretionary development standards means development standards that are identified in an environmental planning instrument or a regulation as non-discretionary development standards.

The following assessment has regard to the above provisions as they relate to the subject application.

4.1 Any Environmental Planning Instruments (EPI's)

In accordance with Section 4.15(1)(a)(i) of the Act, Council in determining a development application must take into consideration provisions of any EPI's.

4.1.1 State Environmental Planning Policies

Table 3 – Planning Assessment – State Environmental Planning Policies

1 - Planning Control	2 - Comment	3 - Complies
SEPP (Sustainable Buildings) 2022		
Relevant provisions require that all works over \$50,000.00 must be certified as achieving BASIX.	The subject application is supported by a BASIX Certificate for the residential flat building demonstrating that the relevant standards have been achieved. The commitments are stated on the stamped plan set.	Yes
SEPP Transport and Infrastructure		
2.99 Excavation in, above, below or adjacent to rail corridors (1) This section applies to development (other than development to which section 2.101 applies) that involves the penetration of ground to a depth of at least 2m below ground level (existing) on land— (a) within, below or above a rail corridor, or (b) within 25m (measured horizontally) of a rail corridor, or (c) within 25m (measured horizontally) of the ground directly below a rail corridor, or (d) within 25m (measured horizontally) of the ground directly above an underground rail corridor. (2) Before determining a development application for development to which this section applies, the consent authority must— (a) within 7 days after the application is made, give written notice of the	As advised by Council the SEPP applies due to clause (1). We request that Council fulfill its role as prescribed by (2) (a) and issue the application to the rail authority within 7 days. We understand that Council and the rail authority will consider individual responsibilities under subsections (3) (4) and (5) of clause S2.99.	Can be complied with subject to council and rail authority completing prescribed tasks set out in column 1.

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application to the rail authority for the rail corridor, and (b) take into consideration— (i) any response to the notice that is received within 21 days after the notice is given, and (ii) any guidelines issued by the Planning Secretary for the purposes of this section and published in the Gazette. (3) Subject to subsection (5), the consent authority must not grant consent to development to which this section applies without the concurrence of the rail authority for the rail corridor to which the development application relates. (4) In deciding whether to provide concurrence, the rail authority must take into account— (a) the potential effects of the development (whether alone or cumulatively with other development or proposed development) on— (i) the safety or structural integrity of existing or proposed rail infrastructure facilities in the rail corridor, and (ii) the safe and effective operation of existing or proposed rail infrastructure facilities in the rail corridor, and (b) what measures are proposed, or could reasonably be taken, to avoid or minimise those potential effects. (5) The consent authority may grant consent to development to which this section applies without the concurrence of the rail authority concerned if— (a) the rail corridor is owned by or vested in ARTC or is the subject of an ARTC arrangement, or (b) in any other case, 21 days have passed since the consent authority gave notice under subsection (2)(a) and the rail authority has not granted or refused to grant concurrence.		
SEPP (Resilience and Hazards) 2021 Chapter 4 Remediation of Land		
4.6 Contamination and remediation to be considered in determining development application (1) A consent authority must not consent to the carrying out of any development on land unless— (a) it has considered whether the land is contaminated, and (b) if the land is contaminated, it is satisfied that the land is suitable in	The subject site has a known historic residential use dating back to the late 19th century. Prior to this, the land formed part of larger agricultural / pastoral holdings. The subject land is suitable for the proposed residential use.	Acceptable Outcome

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its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose. (2) Before determining an application for consent to carry out development that would involve a change of use on any of the land specified in subsection (4), the consent authority must consider a report specifying the findings of a preliminary investigation of the land concerned carried out in accordance with the contaminated land planning guidelines. (3) The applicant for development consent must carry out the investigation required by subsection (2) and must provide a report on it to the consent authority. The consent authority may require the applicant to carry out, and provide a report on, a detailed investigation (as referred to in the contaminated land planning guidelines) if it considers that the findings of the preliminary investigation warrant such an investigation.		
SEPP (Housing) 2021 Chapter 2 Affordable Housing, Part 2 Division 1 In-Fill Affordable Housing		
15A Objective of division The objective of this division is to facilitate the delivery of new in-fill affordable housing to meet the needs of very low, low and moderate income households.	The proposal includes dedication of 10% under this clause which when added to Chapter 5 requirement of 2% is 12% in total. Plans show at least 12% of the total GFA for affordable housing to meet the needs of very low, low and moderate income households.	Yes
15C Development to which division applies (1) This division applies to development that includes residential development if— (a) the development is permitted with consent under Chapter 3, Part 4, Chapter 5 or another environmental planning instrument, and (b) the affordable housing component is at least 10%, and (c) all or part of the development is carried out— (i) for development on land in the Six Cities Region, other than in the	This Division applies as: 1. The proposed residential flat building is made permissible under Chapter 5 of the Housing SEPP, being within a designated TOD area. 2. The proposed affordable housing component is at least 10% of the total GFA as required by this chapter. 3. The development site is within an accessible area within the meaning of Schedule 10 as it is	Yes

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City of Shoalhaven local government area—in an accessible area, or (ii) for development on other land—within 800m walking distance of land in a relevant zone or an equivalent land use zone. (2) Affordable housing provided as part of development because of a requirement under another chapter of this policy, another environmental planning instrument or a planning agreement is not counted towards the affordable housing component under this division. (3) In this section—relevant zone means the following— (a) Zone E1 Local Centre, (b) Zone MU1 Mixed Use, (c) Zone B1 Neighbourhood Centre, (d) Zone B2 Local Centre, (e) Zone B4 Mixed Use.	located within 400m walking distance of a railway station within the Greater Sydney statistical area.	
16 Affordable housing requirements for additional floor space ratio (1) The maximum floor space ratio for development that includes residential development to which this division applies is the maximum permissible floor space ratio for the land plus an additional floor space ratio of up to 30%, based on the minimum affordable housing component calculated in accordance with subsection (2). (2) The minimum affordable housing component, which must be at least 10%, is calculated as follows— affordable housing component = $\frac{\text{additional floor space ratio} \div 2}{\text{(as a percentage)}}$ (3) If the development includes residential flat buildings or shop top housing, the maximum building height for a building used for residential flat buildings or shop top housing is the maximum permissible building height for the land plus an additional building height that is the same percentage as the additional floor space ratio permitted under subsection (1). Example— Development that is eligible for 20% additional floor space ratio because the development includes a 10% affordable housing component, as calculated under subsection (2), is also eligible for 20% additional building height if the development involves	As required by this chapter the proposal includes 10% of the total GFA of the building as affordable housing due to the fact that the height is 20% over the base 22m thus requiring 50% of the bonus height (i.e.50% of the 20% bonus) as affordable. In accordance with this provision, the development is entitled to a potential additional 30% increase on the maximum base FSR and height of buildings standards. Pursuant to Ku-Ring-Gai LEP 2015 the site is subject to baseline standards under Chapter 5 of the SEPP of: HOB = 22m FSR = 2.5:1 With 30% maximum incentive HOB = 28.6m FSR = 3.25:1 The proposal seeks a total FSR of 2.27:1 which complies with the base control of 2.5:1.	Yes

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residential flat buildings or shop top housing. (4) This section does not apply to development on land for which there is no maximum permissible floor space ratio.	The proposal seeks a total maximum height of 26.61m which within the incentive potential maximum height of buildings standard of 22m + 30% (6.6m) set by Chapter 2 and Chapter 5	
18 Affordable housing requirements for additional building height (1) This section applies to development that includes residential development to which this division applies if the development— (a) includes residential flat buildings or shop top housing, and (b) does not use the additional floor space ratio permitted under section 16. (2) The maximum building height for a building used for residential flat buildings or shop top housing is the maximum permissible building height for the land plus an additional building height of up to 30%, based on a minimum affordable housing component calculated in accordance with subsection (3). (3) The minimum affordable housing component, which must be at least 10%, is calculated as follows— $\text{affordable housing component} = \frac{\text{additional building height}}{\text{(as a percentage)}} \div 2$	As above, the proposal seeks a total maximum height of 25.8m which complies with the maximum 22m height + 30% incentive (28.6m). Affordable units dedicated to achieve the 594sqm are as follows: - 0.01 & 0.02 - 1.06 & 1.07 - 2.06 & 2.07	Yes
19 Non-discretionary development standards—the Act, s 4.15 (1) The object of this section is to identify development standards for particular matters relating to residential development under this division that, if complied with, prevent the consent authority from requiring more onerous standards for the matters. (2) The following are non-discretionary development standards in relation to the residential development to which this division applies— (a) a minimum site area of 450m ² , (b) a minimum landscaped area that is the lesser of— (i) 35m ² per dwelling, or (ii) 30% of the site area, (c) a deep soil zone on at least 15% of the site area, where— (i) each deep soil zone has minimum dimensions of 3m, and	The proposal complies with all of the non-discretionary development standards. a) The site area is 2,069sqm, complying with the minimum 450sqm. b) A minimum landscape area / deep soil zone across the site of over 30% is achieved (the lesser) – 42% achieved. c) N/A as Chapter 4 applies (see sub clause (3) below). d) N/A as Chapter 4 applies (see sub clause (3) below). e) Refer below. f) Refer below.	Acceptable outcome achieved.

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(ii) if practicable, at least 65% of the deep soil zone is located at the rear of the site, (d) living rooms and private open spaces in at least 70% of the dwellings receive at least 3 hours of direct solar access between 9am and 3pm at mid-winter, (e) the following number of parking spaces for dwellings used for affordable housing— (i) for each dwelling containing 1 bedroom—at least 0.4 parking spaces, (ii) for each dwelling containing 2 bedrooms—at least 0.5 parking spaces, (iii) for each dwelling containing at least 3 bedrooms— at least 1 parking space, (f) the following number of parking spaces for dwellings not used for affordable housing— (i) for each dwelling containing 1 bedroom—at least 0.5 parking spaces, (ii) for each dwelling containing 2 bedrooms—at least 1 parking space, (iii) for each dwelling containing at least 3 bedrooms—at least 1.5 parking spaces, (g) the minimum internal area, if any, specified in the Apartment Design Guide for the type of residential development,	The development provides 45 car parking spaces across two levels including the part ground level and one basement level. The parking provided falls short of the requirements for non-affordable units and affordable units under the SEPP. Affordable Units: 6 x 2 bedroom x 0.5 = 1.5 Total = 3 spaces – capable of being allocated. Non - Affordable Units: 3 x 1 bedroom x 0.5 = 1.5 15 x 2 bedroom x 1 = 15 17 x 3 bedroom x 1.5 = 25.5 Total = 42 spaces In this instance, reduced parking provisions under cl. 157 prevail. g) The minimum floor areas for dwellings provided comply with those minimums specified in the Apartment Design Guide.	
20 Design requirements (1) Development consent must not be granted to development for the purposes of dual occupancies, manor houses or multi dwelling housing (terraces) under this division unless the consent authority has considered the Low Rise Housing Diversity Design Guide, to the extent to which the guide is not inconsistent with this policy. (2) Subsection (1) does not apply to development to which Chapter 4 applies. (3) Development consent must not be granted to development under this division unless the consent authority has considered whether the design of the residential development is compatible with— (a) the desirable elements of the character of the local area, or (b) for precincts undergoing transition—the desired future character of the precinct	The development has been designed in consideration of the guidelines under the Apartment Design Guide (ADG). An ADG assessment has been provided in support of this application confirming general alignment with the relevant ADG principles. (Refer to Schedule 9 considerations further below). The consent authority can be satisfied that the development is compatible with the desired future elements of the character of the local area undergoing transition. The proposal delivers in-fill density and affordable housing in a manner that is generally compliant with this SEPP and other provisions under the KLEP and KDCP. The area is specifically targeted by State environmental planning policies designed to incentivise development.	Yes

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	The design exhibits strong articulation, modulation in apartment and core layouts and constructability coupled with appropriate site landscaping.	
21 Must be used for affordable housing for at least 15 years (1) Development consent must not be granted to development under this division unless the consent authority is satisfied that for a period of at least 15 years commencing on the day an occupation certificate is issued for the development— (a) the development will include the affordable housing component required for the development under section 16, 17 or 18, and (b) the affordable housing component will be managed by a registered community housing provider. (2) This section does not apply to development carried out by or on behalf of the Aboriginal Housing Office or the Land and Housing Corporation.	The affordable housing component of the development will be utilised for a period of at least 15 years.	Yes
Chapter 4 Design of Residential Apartment Development		
142 Aims of chapter (1) The aim of this chapter is to improve the design of residential apartment development in New South Wales for the following purposes— (a) to ensure residential apartment development contributes to the sustainable development of New South Wales by— (i) providing socially and environmentally sustainable housing, and (ii) being a long-term asset to the neighbourhood, and (iii) achieving the urban planning policies for local and regional areas, (b) to achieve better built form and aesthetics of buildings, streetscapes and public spaces, (c) to maximise the amenity, safety and security of the residents of residential apartment development and the community, (d) to better satisfy the increasing demand for residential apartment development, considering— (i) the changing social and demographic profile of the community, and	The proposed development is consistent with the aims of Chapter 4 in that: - It provides new sustainable apartment development in an accessible area; - The development has been designed and will be constructed in accordance with BASIX and Natthers commitments, ensuring a high standard of environmental sustainability is achieved. - The proposal includes a component of dedicated affordable housing, providing for the social needs of the community. - The development is a long-term asset to the emerging neighbourhood and has been designed in accordance with the relevant overriding State planning controls; - The proposal delivers sound architectural outcomes coupled with soft landscaping to enhance	Yes

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(ii) the needs of a wide range of people, including persons with disability, children and seniors, (e) to contribute to the provision of a variety of dwelling types to meet population growth, (f) to support housing affordability, (g) to minimise the consumption of energy from non-renewable resources, to conserve the environment and to reduce greenhouse gas emissions, (h) to facilitate the timely and efficient assessment of development applications to which this chapter applies. (2) This chapter recognises that the design of residential apartment development is significant because of the economic, environmental, cultural and social benefits of high quality design.	the streetscape and neighbourhood character. - The proposed density, type and mix of apartments proposed will suit the changing needs of the emerging community in an area that is highly accessible to transport, employment and services. - The development supports housing affordability, both directly through the provision of dedicated units and indirectly through the downward pressure of new housing in the emerging market. - Offers housing choice via a range of unit types.	
148 Non-discretionary development standards for residential apartment development—the Act, s 4.15 (1) The object of this section is to identify development standards for particular matters relating to residential apartment development that, if complied with, prevent the consent authority from requiring more onerous standards for the matters. Note— See the Act, section 4.15(3), which does not prevent development consent being granted if a non-discretionary development standard is not complied with. (2) The following are non-discretionary development standards— (a) the car parking for the building must be equal to, or greater than, the recommended minimum amount of car parking specified in Part 3J of the Apartment Design Guide, (b) the internal area for each apartment must be equal to, or greater than, the recommended minimum internal area for the apartment type specified in Part 4D of the Apartment Design Guide, (c) the ceiling heights for the building must be equal to, or greater than, the recommended minimum ceiling heights specified in Part 4C of the Apartment Design Guide.	The proposal provides 45 off street car parking spaces across two levels which falls short of the requirements of the ADG referenced under Chapter 4 of the Housing SEPP which prevails in this instance. <i>Minimum 1 space per unit, plus an additional 1 space per each 5 x 2 bedroom unit or part thereof. Also, an additional 1 space per each 2 x 3 bedroom unit or part thereof is recommended.</i> 41 x 1 = 41 spaces 21 / 5 = 4.2 (4 spaces) 14/5 = 8.5 (9 spaces) 54 spaces required. 45 spaces provided. All internal apartment areas comply with the minimum 50sqm for one-bedroom apartments, 70sqm for 2-bedroom apartments and minimum 90sqm for 3 bedroom apartments. Ceiling heights at 3.2m comply with the minimum heights under Part 4C of the ADG.	Yes

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149 Apartment Design Guide prevails over development control plans (1) A requirement, standard or control for residential apartment development that is specified in a development control plan and relates to the following matters has no effect if the Apartment Design Guide also specifies a requirement, standard or control in relation to the same matter— (a) visual privacy, (b) solar and daylight access, (c) common circulation and spaces, (d) apartment size and layout, (e) ceiling heights, (f) private open space and balconies, (g) natural ventilation, (h) storage. (2) This section applies regardless of when the development control plan was made.	The proposed sitting and separation of the building generally accords with the guidelines under the ADG. Sufficient 6 - 9m side and rear setbacks provided to enable a minimum 12-18m separation distance to adjoining 1-2 storey dwellings capable of being redevelopment in the future for a similar purpose – complies. For all other matters, refer to the ADG assessment prepared in support of this application.	Generally consistent
Chapter 5 Transport Orientated Development		
150 Aims of chapter The aims of this chapter are as follows— (a) to increase housing density within 400m of existing and planned public transport, (b) to deliver mid-rise residential flat buildings, seniors housing in the form of independent living units and shop top housing around rail and metro stations that— (i) are well designed, and (ii) are of appropriate bulk and scale, and (iii) provide amenity and liveability, (c) to encourage the development of affordable housing to meet the needs of essential workers and vulnerable members of the community.	Proposal aligns with the aims and objectives of Chapter 5. The development provides increased housing densities within a 200m walking distance of the Roseville railway station and local centre. The building complies with the maximum incentive height and FSR provisions, setting an appropriate bulk and scale contained behind generally compliant setbacks and separation distances. The design, sitting and internal configuration of apartments and integrated landscape elements will deliver a high standard of living with excellent amenity. The development includes 12% affordable housing to contribute new housing to meet the needs of essential workers and vulnerable people in the community. The contribution is made only for the additional height utilised by the development rather than additional floor space (i.e. the proposal is 2.27:1 as opposed to the 2.5:1) so in effect the development offers a greater ratio	Yes

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	of affordable floor space than what could be achieved in an alternate compliant development that adopted variations to ADG separation distances.	
152 Land to which chapter applies This chapter applies to land in the following local government areas that is in a Transport Oriented Development Area— (a) Bayside, (b) Burwood, (c) Canada Bay, (d) Canterbury-Bankstown, (e) Central Coast, (f) Cumberland, (g) Georges River, (h) Inner West, (i) <u>Ku-ring-gai</u> , (j) City of Lake Macquarie, (k) City of Newcastle, (l) City of Penrith, (m) City of Wollongong.	The site is situated within the Ku-Ring-Gai Council LGA.	Yes
154 Development permitted with development consent in Transport Oriented Development Areas (1) Development for the purposes of residential flat buildings is permitted with development consent on land in the following zones in a Transport Oriented Development Area— (a) a relevant residential zone, (b) Zone E1 Local Centre or an equivalent land use zone, (c) for land in the Canterbury-Bankstown local government area—Zone B2 Local Centre. (2) Development for the purposes of shop top housing is permitted with development consent on land in a relevant employment zone in a Transport Oriented Development Area.	The property is zoned R2 Low Density Residential which is a relevant residential zone within the designated TOD area. Accordingly, residential flat buildings are made permissible by this clause.	Yes
155 Maximum building height and maximum floor space ratio (1) This section identifies development standards for development under this chapter that, if complied with, prevent the consent authority from requiring more onerous standards for the matters. Note— See the Act, section 4.15(3), which does not prevent development consent being granted if a non-discretionary development standard is not complied with.	As detailed in the assessment table above, the development proposes a maximum building height of 26.61m and a FSR of 2.27:1. The proposal is below the maximum height using a 20% bonus. The total affordable allocation is 12.64% which includes the 2% required by Cl 156(2) below. Based on the above clause 15C applies to Chapter 5 and only accelerated TOD are excluded from chapter 2 incentives.	Yes

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(2) The maximum building height for a residential flat building in a Transport Oriented Development Area is 22m. (3) The maximum building height for a building containing an independent living unit or shop top housing in a Transport Oriented Development Area is 24m. (4) The maximum floor space ratio for the following in a relevant residential zone or relevant employment zone in a Transport Oriented Development Area is 2:5:1— (a) a residential flat building, (b) a building containing an independent living unit or shop top housing. (5) This section does not apply to the extent a provision of another chapter of this policy or another environmental planning instrument permits a greater maximum building height or floor space ratio for a residential flat building or building containing shop top housing on the land.		
156 Affordable housing (1) This section applies to development for the purposes of residential flat buildings, independent living units or shop top housing in a Transport Oriented Development Area if the building has a gross floor area of at least 2000m². (2) Development consent must not be granted unless the consent authority is satisfied that— (a) at least 2% of the gross floor area of the building will be used for affordable housing, and (b) the affordable housing will be managed by a registered community housing provider in perpetuity. (3) A requirement under a provision of another chapter of this policy, another environmental planning instrument or a planning agreement that requires the development to provide more affordable housing prevails over this section. (4) Affordable housing provided as part of the development because of a requirement under another chapter of this policy, another environmental planning instrument or a planning agreement is not	Clause applies because the site is greater than 2,000sqm. The development includes 10.64% dedication of affordable housing and utilises the available provisions under Chapter 2 of the policy. To this end, a minimum 2% affordable is shown on the plan and is added to the 10.64% required elsewhere due to the height and FSR incentive. Allocation of the additional 10.64% under Chapter 2 is achieved based on a total allocation of 12.64% affordable to satisfy cl 156(4) and Chapter 2 of the SEPP Housing.	Yes

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counted towards the affordable housing required under this section.		
157 Affordable housing parking spaces (1) This section identifies a development standard for development under this chapter that, if complied with, prevents the consent authority from requiring more onerous standards for the matters. Note— See the Act, section 4.15(3), which does not prevent development consent being granted if a non-discretionary development standard is not complied with. (2) Development to which section 156 applies must provide the following number of parking spaces for each affordable housing dwelling required under that section— (a) for each dwelling containing 1 bedroom—0.4 parking space, (b) for each dwelling containing 2 bedrooms—0.5 parking space, (c) for each dwelling containing 3 or more bedrooms—1 parking space. (3) This section prevails over a provision in another chapter of this policy or another environmental planning instrument to the extent that other provision permits a lower number of parking spaces for dwellings used for affordable housing on the land.	Parking rates calculated as follows: Affordable Unit Parking Spaces 6 x 2 bedroom x 0.5 = 1.5 Total = 3 spaces (capable of being allocated) Non - Affordable Units: 3 x 1 bedroom x 0.5 = 1.5 15 x 2 bedroom x 1 = 15 17 x 3 bedroom x 1.5 = 25.5 Total = 42 spaces Under the provisions of Part 3J of the ADG (parking rates in an accessible area under TfNSW Guide to Traffic Generating Developments and the affordable parking rates under this clause, a minimum total of 46 spaces are required. 45 off-street spaces are provided, meaning there is a shortfall of a single space proposed. Given the site is located within a highly accessible area, being 200m walking distance of the railway station and buses along the Pacific Highway, the minor shortfall proposed is considered acceptable. The minimum 3 spaces allocated for affordable housing is capable of being provided.	Yes
158 Exception to minimum lot size (1) This section applies if another environmental planning instrument applying to the land specifies a minimum lot size for development for the purposes of residential flat buildings or shop top housing (a <i>minimum lot size restriction</i>). (2) Development consent may be granted to development for the purposes of residential flat buildings or shop top housing on land in a Transport Oriented Development Area, despite a minimum lot size restriction.	Not relevant, site achieves compliance, refer previous consideration above. Site area = 2,069sqm.	Complies
159 Minimum lot width Development consent must not be granted to development for the	Site complies with a minimum width of 40.2m.	Yes

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purposes of residential flat buildings, independent living units or shop top housing on a lot in a Transport Oriented Development Area, unless the lot is at least 21m wide at the front building line.		
160 Active street frontages (1) The objective of this section is to ensure active street frontages for residential flat buildings and buildings containing independent living units in Zone E1 Local Centre in Transport Oriented Development Areas to encourage the presence and movement of people. (2) This section applies to development for the purposes of residential flat buildings or buildings containing independent living units on land in the following zones in a Transport Oriented Development Area— (a) Zone E1 Local Centre or an equivalent land use zone, (b) for land in the Canterbury-Bankstown local government area—Zone B2 Local Centre. (3) Development consent must not be granted unless the consent authority is satisfied the building will have an active street frontage. (4) A residential flat building or a building containing an independent living unit has an active street frontage if the ground floor has building design elements that encourage interaction between the inside of the building and the external public areas adjoining the building. (5) This section prevails over a provision of another environmental planning instrument that requires an active street frontage for development on land to which this section applies.	Not relevant, the site is not located within an E1 zone.	N/A
161 Consideration of Apartment Design Guide Development consent must not be granted for development for the purposes of residential flat buildings, independent living units or shop top housing on land in a Transport Oriented Development Area unless the consent authority has considered the Apartment Design Guide.	Refer to previous assessment above and discussion against Schedule 9 below. Refer also to supporting ADG assessment and Design Report prepared by Smith and Tzannes.	

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Housing SEPP 2021 Schedule 9

The following provides an assessment of the proposed new residential flat building against the design principles in Schedule 9:

Provision	Comment
1 Context and neighbourhood character (1) Good design responds and contributes to its context, which is the key natural and built features of an area, their relationship and the character they create when combined which includes social, economic, health and environmental conditions. (2) Responding to context involves identifying the desirable elements of an area's existing or future character. (3) Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood. (4) Consideration of local context is important for all sites, including sites in the following areas— (a) established areas, (b) areas undergoing change, (c) areas identified for change.	The site is predominantly surrounded by existing single storey detached dwellings of Federation and Californian bungalow styles, clad in brick with steep expressed roof forms. Locally significant heritage items adjoin the site to the south west (Roseville Avenue) and across the road on Trafalgar Avenue. The proposed development maintains continuity with the existing streetscape through landscaping that extends patterns from adjoining properties. The pedestrian entry off Trafalgar Avenue is slightly elevated, forming a stoop that reflects the character of neighbouring detached homes. The material palette—brick, terracotta, and timber—references the local context but is reinterpreted in a contemporary manner. The building form responds to its surroundings with a landscaped base, deep verandahs and balconies on each level, and varied ridge heights. Fenestration draws from Federation-style influences, featuring regularly spaced tall single windows and larger openings articulated into smaller components, shaded by steep hoods reminiscent of traditional bay windows. Street walls are segmented to align with adjacent frontage proportions, while vertical breaks differentiate the massing where the development meets detached homes to the southwest and northwest. Apartments are oriented towards the street, with private open spaces engaging both frontages to enhance passive surveillance. Datum lines from adjoining heritage structures are integrated into the new design, and brickwork detailing intensifies over larger façade spans to introduce texture, depth, and visual interest.
2 Built form and scale (1) Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings. (2) Good design also achieves an appropriate built form for a site and the building's purpose in terms of the following— (a) building alignments and proportions, (b) building type, (c) building articulation, (d) the manipulation of building elements. (3) Appropriate built form— (a) defines the public domain, and	The scale of the proposed development has considered the desired future character and the prescriptive controls in the LEP and DCP. The proposed building is consistent with the scale of development anticipated in a TOD area. The proposal provides setbacks to the street and boundaries that are consistent with the DCP controls and ADG - enabling a building located in the centre of the site. The front setback of 10m has no underlying basement and is deep soil. Likewise setbacks are deep soil zones.

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(b) contributes to the character of streetscapes and parks, including their views and vistas, and (c) provides internal amenity and outlook.	The proposed building is divided into three lower blocks with further articulation on edges adjoining low rise residential development. Facades are broken down into widths proportionate to that of adjoining homes and in some areas visually split with recessive glass links or careful brick detailing. Setbacks are consistent with the ADG / DCP with a larger setback to Roseville avenue recognising the heritage significance of adjoining fabric. The proposed built form provides an orientation that is focused predominately towards the two street frontages.
3 Density (1) Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context. (2) Appropriate densities are consistent with the area's existing or projected population. (3) Appropriate densities are sustained by the following— (a) existing or proposed infrastructure, (b) public transport, (c) access to jobs, (d) community facilities, (e) the environment.	The built form is generally consistent with the setback and gross floor area nominated under the relevant SEPP Housing 2021 and the DCP (where relevant). The overall form is appropriate as described earlier for the site and the context. The height of the building adheres to the TOD 22m limit + 30%potential incentive bonus available under Chapter 2 of the SEPP with a 10.64% affordable housing component. The proposal complies by proposing a 20% bonus and does not take up the full theoretical 30% nor does it rely upon any bonus FSR under the TOD. A bonus is permitted under 15C of the SEPP 2021 as the proposal satisfies 15C (1) (a) – (c). The existing infrastructure including public transport networks has capacity to accommodate the future residential populations. It does this with the extent appropriate for the site and the context, with consideration given to the impacts of this additional density on the adjacent properties.
4 Sustainability (1) Good design combines positive environmental, social and economic outcomes. (2) Good sustainable design includes— (a) use of natural cross ventilation and sunlight for the amenity and liveability of residents, and (b) passive thermal design for ventilation, heating and cooling, which reduces reliance on technology and operation costs. (3) Good sustainable design also includes the following— (a) recycling and reuse of materials and waste, (b) use of sustainable materials, (c) deep soil zones for groundwater recharge and vegetation.	A comprehensive environmental assessment undertaken as part of the development application details the building's performance and compliance in regards to BASIX requirements. Passive environmental design initiatives include: • Floorplates that embrace corner style apartments to obtain cross ventilation • Preferential orientation towards the north, and north-east to maximise winter heating and reduce summer heat-loads. • Use of overhangs to windows (with building projections and awnings) to provide shade in summer. • Appropriate landscape selections with low water demand and shade to the north and west • Maximising the perimeter of the facade and minimizing the depth to enhance daylight. • Storage for bicycle parking for residents on each level and for visitors adjoining common space

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	- Exceeding minimum cross ventilation requirements - Providing circulation spaces with access to natural light and ventilation. - LED lighting is provided throughout private and common areas. Where appropriate, lighting is controlled by daylight sensors or movement sensors to reduce energy consumption.
5 Landscape (1) Good design recognises that landscape and buildings operate together as an integrated and sustainable system, resulting in development with good amenity. (2) A positive image and contextual fit of well designed development is achieved by contributing to the landscape character of the streetscape and neighbourhood. (3) Good landscape design enhances the development's environmental performance by retaining positive natural features that contribute to the following— (a) the local context, (b) co-ordinating water and soil management, (c) solar access, (d) micro-climate, (e) tree canopy, (f) habitat values, (g) preserving green networks. (4) Good landscape design optimises the following— (a) usability, (b) privacy and opportunities for social interaction, (c) equitable access, (d) respect for neighbours' amenity. (5) Good landscape design provides for practical establishment and long term management.	The landscape design by Paul Scrivener Landscape Architect has been designed in conjunction with the architecture to produce a unified scheme. The form of the building is set back from the boundaries to provide room for substantial landscaping and planting. This helps to define the interface between the development and surrounding homes while balancing visual privacy and views from the site. All landscaped, communal open space and deep soil area calculations far exceed those minimum guidelines specified in the ADG and generally achieve compliance with the DCP provisions.
6 Amenity (1) Good design positively influences internal and external amenity for residents and neighbours. (2) Good amenity contributes to positive living environments and resident well-being. (3) Good amenity combines the following— (a) appropriate room dimensions and shapes, (b) access to sunlight, (c) natural ventilation, (d) outlook, (e) visual and acoustic privacy, (f) storage, (g) indoor and outdoor space, (h) efficient layouts and service areas, (i) ease of access for all age groups and degrees of mobility.	Visual privacy is provided between the proposed development and the adjoining existing homes through adequate building separation, planting to the shared rear boundaries, limit of glazing to the rear boundaries. The apartments orientated towards the street (where the building separation is increased over the road corridor), apartments have larger windows and longer balconies to capture the views. The level of solar access achieved is consistent with the ADG design criteria. The view from the sun plans demonstrate compliance with the design criteria. Apartments are designed compliant with the maximum depth as outlined in the ADG to maximise daylight access. The 8m depth of combined living, dining and kitchens is measured from the front of the rear kitchen counters.

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	Designed around a central cores, most apartments are corner cross ventilated. All corridors are provided natural ventilation. The proposal demonstrates good design and high amenity. This is achieved by: • Room sizes that are of a good size with a good outlook • Rational layouts that minimise circulation spaces. • Private open space areas meet minimum sizes of the ADG and are configured to be functional and conducive to recreational use. All are accessed from living areas. • Storage is provided within the unit and in basement cages
7 Safety (1) Good design optimises safety and security within the development and the public domain. (2) Good design provides for quality public and private spaces that are clearly defined and fit for the intended purpose. (3) Opportunities to maximise passive surveillance of public and communal areas promote safety. (4) A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.	The development ensures casual surveillance of the street scape and publicly accessible areas of the site by means of the street facing apartments with habitable room windows and private open spaces oriented towards these areas. A visual connection is provided from the street to the residential entries. The apartments to the street are higher than the footpath level, allowing residents to maintain privacy but also look out to the street. The communal spaces will be well lit and avoid opportunities for concealment. They are accessible to residents and guests, and building maintenance staff only. Various communal space options provided. The ground floor communal open space is readily visible from habitable rooms and private open spaces. The fence and planting to the ground level communal open space provides visual privacy while enabling passive surveillance. The entrance has clear visibility from the street - improving safety
8 Housing diversity and social interaction (1) Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets. (2) Well designed residential apartment development responds to social context by providing housing and facilities to suit the existing and future social mix. (3) Good design involves practical and flexible features, including— (a) different types of communal spaces for a broad range of people, and (b) opportunities for social interaction among residents.	The proposed development will assist in providing for the growing demand of residential accommodation with good proximity transport and smaller local centres. A diversity of apartment types and Styles are provided with a mix of 1, 2 & 3 bedroom single level apartments. Housing choice is therefore provided for which response to general market needs. The proposed development contains silver level apartments by default and 6 platinum level apartments. Community space includes universal access and an accessible bathroom. Parking and basement areas are accessible by lift and the front door / rear path include ramps for wheelchairs, bikes, prams and walkers.
9 Aesthetics (1) Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure.	Composition and proportion of facade is balanced and broken into distinct but contemporary elements which reflect the internal program and reinforced the required setbacks. The base level of the building is

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(2) Good design uses a variety of materials, colours and textures. (3) The visual appearance of well designed residential apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.	recessed and more intricately detailed than the blocks above referencing adjoining built form. The basement is integrated into the base of the building and articulated to reduce bulk and scale, while planting screens the base of the building reducing its visual impact overall. Upper levels are further set back when abutting adjoining lots. The roof is made up of several height planes in a nod to adjoining formal patterns, while the flat roof is uncommon for the immediate area its considered more sympathetic than pitched forms that would add unnecessary bulk and scale to the development. The lift overrun is set in the centre of the roof and integrated with adjoining form to minimise visual impact. Face brick and terracotta facades have been chosen because of their easy maintenance. Aluminium windows and selected anodised metalwork components are easy to maintain. By limiting the material selection providing a robot structure maintenance will be reduced to maintain.
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4.1.2 Ku-Ring-Gai Local Environmental Plan 2011 (KLEP 2015)

The following provisions of KLEP 2015 apply to the proposal

Table 4 – Planning Assessment – KLEP 2015

Relevant Provisions	Comment
1.2 Aims of Plan <i>(2) The particular aims of this Plan are as follows—</i> <i>(aa) to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,</i> <i>(a) to guide the future development of land and the management of environmental, social, economic, heritage and cultural resources within Ku-ring-gai,</i> <i>(b) to protect, enhance and sustainably manage the biodiversity, natural ecosystems, scenic values, water resources and ecological processes within the catchments of Ku-ring-gai for the benefit of current and future generations,</i> <i>(c) to maintain and improve water quality within the catchments of Ku-ring-gai,</i> <i>(d) to facilitate adaptation to climate change,</i> <i>(e) to manage risks to the community and the environment in areas subject to natural hazards and risks,</i> <i>(f) to recognize, protect and conserve Ku-ring-gai's indigenous and non-indigenous cultural heritage,</i> <i>(g) to ensure that development does not conflict with the hierarchy of commercial centres in Ku-ring-gai,</i>	Having regard to the general aims of the KLEP 2015 the proposal is deemed to be acceptable on the following grounds: • The proposed residential flat building has had regard to the relevant controls in the Housing SEPP and LEP and delivers a largely compliant and high standard of design outcomes. • The proposal preserves important features of the natural environment and will contribute to the emerging built form environment in the TOD area. • The development promotes housing choice and delivers a diversity of apartment types to meet the evolving needs of the community. • The building has been designed and will be constructed in accordance with the sustainability commitments under BASIX and NatHERS. • The development provides in-fill densities in an accessible area, promoting pedestrian connectivity and utilisation of public transportation networks. • The infill affordable housing development aligns with Council's commitment to consolidating future population growth and high density housing in its established centres or those centres earmarked by the

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(h) to encourage a diversity of employment within Ku-ring-gai, (i) to encourage a variety of housing types within Ku-ring-gai, (j) to achieve land use relationships that promote the efficient use of infrastructure, (k) to facilitate good management of public assets and promote opportunities for social, cultural and community activities, (l) to facilitate development that complements and enhances amenity for residential uses and public spaces, (m) to establish a hierarchy of commercial centres for Ku-ring-gai, (n) to facilitate development of the commercial centres to enhance Ku-ring-gai's economic role and cater to the retail and commercial needs of the local community, (o) to protect the character of low density residential areas and the special aesthetic values of land in the Ku-ring-gai area.	State policy as being capable of supporting increased density. - The proposal represents the orderly and economically efficient use of the land for housing supply. - The design has sensitively addressed interfaces to important adjoining and adjacent local heritage features, providing appropriate setbacks, building separation distances and integrated landscapes that assist in softening potential built form and massing impacts. - The proposal has been designed with a high degree of internal and external amenity achieved, including high standard of private and communal open space, contemporary and sizeable internal layouts and landscape embellishments that underscore the garden character of the area.
Zoning and Permissibility The subject site is zoned R2 Low Density Residential. The proposed residential flat building is made permissible under Chapter 5 of the Housing SEPP as the site is located within a TOD area.	Current LEP zoning provisions are overridden by the TOD area provisions under Chapter 5 of the Housing SEPP.
2.6A Demolition <i>The demolition of a building or work may be carried out only with consent.</i>	The proposal includes provision for demolition of all existing site structures. Accordingly, development consent is sought for the demolition works.
CI 4.3 - Height of buildings: Maximum Building Height - 9.5 metres (LEP) TOD SEPP – 22m Affordable Housing – (potential for 10% Affordable GFA = 30% height bonus applies - 28.6m)	26.61m (calculated) refer roof plan (RL's) + sections. This complies with the maximum building height provisions applied to the development site under Chapters 2 and 5 of the Housing SEPP.
CI 4.4 - Floor space ratio (FSR): Maximum FSR - 0.3:1 (LEP) TOD SEPP – 2.5:1 + 30% incentive due to affordable housing provision = 3.25:1 – see Chapter 2 and 5 of the SEPP Housing	2.27:1 (refer calculations drawing). Complies, as the maximum FSRs applied to the development site under Chapters 2 and 5 of the SEPP allocate a max of 3.25:1.
CI 5.10 - Heritage Conservation : Subclause 2, requirement for consent – Development consent is required for any of the following; - demolishing or moving any of the following or altering the exterior of any of the following (i) a heritage item (ii) an aboriginal object (iii) a building, work, relic or tree within a heritage conservation area	Demolition of 2 x buildings and several trees proposed within conservation area – heritage report included with application documentation. The site immediately adjoins a local heritage item at No. 16 Roseville Avenue and is positioned adjacent to heritage listed items along Trafalgar Avenue. The TOD program aims to balance the delivery of new housing with the conservation

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	of heritage values, recognizing that both can assist. Heritage sites are explicitly excluded from application of Chapter 5, however, development of adjacent and adjoining sites is encouraged where designs are appropriately informed by qualified heritage architects and planners. The subject design has had sound regard to the established heritage fabric and key features of neighbouring and surrounding sites in the locality. Datum lines from adjoining heritage structures are integrated into the new design, and brickwork detailing intensifies over larger façade spans to introduce texture, depth, and visual interest. Refer to the supporting heritage assessment for more details.
6.1 Acid Sulfate Soils	The land is mapped as Class 5 Acid sulfate soils. Development consent is required for works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the watertable is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land. The proposal is not subject to this clause as the works are more than 500 metres of adjacent Class 1, 2, 3 or 4 land.
6.2 Earthworks	Earthworks are part of the application, noting that there is a basement and partial sub-ground level to be excavated. For the most part the excavation for the basement is limited to one level. Earthworks proposed will be contained wholly within the boundaries of the site. Basement set well in from boundary. Works are therefore unlikely to adversely impact the environment or neighbouring properties by way of detrimental damage to physical structures, water quality, stormwater runoff or disturbance to any relics. Standard conditions will prevail such as dilapidation reports and full structural design with the CC application. Neighbouring properties will be supported during excavation works and throughout the construction phase. Appropriate control measures will be installed prior to and maintained throughout the course of the earthworks to minimise any impacts, including: • Sediment and erosion control fencing and bunding for temporary stormwater;

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	• Installation of a new on-site stormwater detention system and temporary stormwater infrastructure; • Stabilisation and compaction of earthworks; • Site security fencing; • Validation certificates to confirm excavated material is clean ENM; and • Dust suppression, washing down of vehicles and tools used on site and avoidance of work during periods of high wind.
6.3 Biodiversity Protection	The site is not mapped as land comprising biodiversity significance.
6.4 Riparian land and waterways	The site is not mapped as land comprising riparian corridors or waterways.
6.5 Stormwater and water sensitive urban design	Water sensitive urban design principles and flooding measures integrated into the development proposal, refer to stormwater management plan and landscape architect documentation for information. The proposal complies with minimum site area in depth requirements set out in subclause (2)b .
CI 6.6 - Requirements for multi dwelling housing and residential flat buildings: Subclause 2(b), minimum lot size 1,200m² and minimum dimension (width and depth) of at least 30 metres (if area of land is 1,800m² or more)	Lot Size: 2069m² Lot width: 40.23m Lot depth: 51.99m Complies.

4.2 Any Draft Environmental Planning Instruments (Draft EPIs)

There are no Draft EPI's applicable to the assessment of the application.

4.3 Relevant Development Control Plans (DCPs)

The following identifies the relevant DCPs applicable to the assessment of the application. We note that the DCP only applies to those matters not covered by the ADG in accordance with Chapter 5 of the SEPP Housing. If DCP matters are referenced it is only for comparative purposes and the SEPP Housing prevails.

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4.3.1 Ku-Ring-Gai Development Control Plan

The Ku-Ring-Gai DCP is the local planning guideline applicable to the proposal. An assessment of the proposed development has been included against the relevant provisions in the DCP in Table 5 below.

Table 5 –Assessment – Ku-Ring-Gai DCP

KDCP Provisions	Assessment
PART 2: SITE ANALYSIS	
A site analysis which identifies the existing characteristics of the site and the surrounding area has been provided as part of the development application. The site analysis is considered to satisfy the objectives of this part of the DCP.	
PART 7 RESIDENTIAL FLAT BUILDINGS	
7A.1 – Local Character and Streetscape	
All Residential Flat Buildings are to be designed by an architect registered with the NSW Architects Registration Board.	The proposed residential flat building has been designed by a registered architect Peter Smith ARN 7024.
All residential flat buildings are to demonstrate how they provide a garden setting with buildings surrounded by landscaped gardens, including tall trees, on all sides.	The proposal includes a range of trees and gardens on all sides and a detailed landscape plan accompanies this application.
Design components of new development are to be based on the existing predominant and high quality characteristics of the local neighbourhood.	Materiality, fenestration and formal cues and motifs have been carried over from adjoining built fabric to the proposed development. The proposal has had regard to important character heritage features in relation to both the surrounding built form and landscape context.
The appearance of the development is to maintain the local visual character by considering the following elements: i) visibility of on-site development when viewed from the street, public reserves and adjacent properties; and relationship to the scale, layout and character of the tree dominated streetscape of Ku-ring- gai.	The proposed development maintains continuity with the existing streetscape through landscaping that extends patterns from adjoining properties. The pedestrian entry off Trafalgar Avenue is slightly elevated, forming a stoop that reflects the character of neighbouring detached homes. The material palette—brick, terracotta, and timber— references the local context but is reinterpreted in a contemporary manner.
The predominant and high quality characteristics of the local neighbourhood are to be identified and considered as part of the site analysis.	A comprehensive site analysis accompanies this application, together with a comprehensive heritage assessment and design report prepared by the project architects.
Development is to integrate with surrounding sites by: - being of an appropriate scale retaining consistency with the surrounds when viewed from the street, public domain or adjoining development; - minimising overshadowing; and	The proposal is consistent with expectations of bulk and scale set out in the transport oriented development (TOD) area provisions under Chapter 5 and the ADG. Consistency with existing built fabric is through the establishment of datum lines in the facade, consistency of front and side setbacks and continuation of landscape and street tree canopy.

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integrating built form and soft landscaping (gardens and trees) within the tree canopy that links the public and private domain throughout Ku-ring-gai.	Overshadowing is minimised where practical, a solar access analysis accompanies this application. Soft landscaping and tree canopy links have been integrated into the proposal.
7A.2 – Site Layout	
The site layout is to demonstrate a clear and appropriate design strategy and arrangement of building mass in response to the Site Analysis in Part 2 Site Analysis of this DCP. Demonstration of design strategies to address opportunities and constraints based on Site Analysis are to include: i. building location and orientation on the site optimising northern aspect; relationship with neighbouring developments; building setbacks; geographical aspect; views; access etc; ii. response of building development in maintaining site characteristics within the subject site, such as topography, vegetation, significant trees, any special features, etc. iii. building separation and internal layouts of buildings that respond to (i) above and be consistent with the requirements of the DCP. Limited apartments with no direct sunlight.	A site analysis accompanies this application and can be found within the design report. The site analysis clearly demonstrates that the building is centrally positioned within the site, behind compliant and appropriate setbacks that achieves a sound northerly orientation, maintains key site characteristics within the site, including large, landscaped setbacks, and maintains sufficient solar access to neighbouring properties as well as internally to new apartments.
A drawing and supporting written information is to demonstrate how the building and its layout has applied and responded to the site analysis required by Part 2 of the DCP.	This information is contained within Design Verification Statement.
Development near noise sources is to comply with Section B Part 20 Development Near Rail Corridors and Busy Roads of the DCP.	Not applicable to proposed site.
Any building with a frontage to the street is to address that street.	The building successfully addresses the two street frontages. Access provision for both vehicles and pedestrians is provided from the secondary road (Trafalgar Ave) whilst fenestration to the Roseville Avenue frontage ensures sufficient visual activation is achieved.
Soft landscaping, including tall trees, is to be provided between onsite buildings, fences and courtyard walls.	The proposal includes a range of trees, fencing and low height walls, refer landscape documentation.
Hard landscaping is to be minimised and to maximise opportunities for landscape planting	The landscape scheme provided with the DA preferences the application of soft landscape and deep soil features over hardscape elements. Sufficient balance is struck to ensure good amenity and design that is fit for purpose.
Long straight driveways are not permitted, except where necessary for battle-axe sites. Driveways are to be designed to be of minimal visual impact.	Short driveway access provided from Trafalgar Avenue directly into the sub-floor parking level. Designed with minimum visual impact upon the streetscape.

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Provide a single pedestrian entry point into the development from the street. Other entries may be permitted where several buildings address the street along an extended street or where there are dual frontage sites.	A primary pedestrian entry is provided of Trafalgar Ave with a secondary side gate / path located off Roseville Ave.
Three hours of direct sunlight between 9am and 3pm on 21st June is to be maintained to the living rooms, primary private open spaces and any communal open spaces within - existing residential flat buildings and multi-dwelling housing on adjoining lots, and - residential development in adjoining lower density zones.	Shadow diagrams accompany this application and demonstrate built form is consistent with ADG envelope requirements.
Overshadowing should not compromise the development potential of the adjoining yet to be redeveloped sites.	The extent of overshadowing will not compromise the development potential of adjoining sites. Given the north-east / south-westerly orientation of the block, overshadowing impacts to the south-western neighbour (a heritage item) are skewed such that a minimum 3 hours of direct sunlight will continue to be achieved to the rear POS and living spaces throughout the afternoon. The neighbouring site is unlikely to ever be redeveloped given its heritage listing.
Developments are to allow the retention of a minimum of 4 hours direct sunlight between 9am to 3pm on 21st June to all existing solar collectors and solar hot water services on neighbouring buildings.	Adjoining dwellings are not known to include solar hot water systems.
7A.3 Building Setbacks	
Residential flat buildings are to meet the following street setback requirements: 10m from the street boundary; - on corner sites and sites with multiple street frontages at 10m setback is to be provided on all street frontages.	A 10m setback has been provided to the Roseville Avenue frontage, however is not achievable on the Trafalgar Avenue frontage where ADG setbacks have been applied instead (i.e. minimum 6m). The proposed Trafalgar Avenue setback is deemed acceptable on the basis that it exceeds the neighbouring established setbacks to the rear and that of the existing dwelling to be demolished. Despite the non-compliance the proposal is still considered to maintain a garden setting consistent with adjoining lots, still maintains deep soil zones adjoining the street and is carefully articulated to reduce visual bulk and scale from the street.
Residential flat buildings are to provide a 2.0m articulation zone behind the street setback, and no more than 40% of this zone (in plan) is to be occupied by the building.	A 2m articulation zone has been allowed for on the proposals Trafalgar Ave frontage and is predominantly occupied with balconies. The proposals Roseville Ave frontage includes a larger portion of development in the 'articulation zone' as is driven by orientation restraints and a response to adjoining heritage items with lesser setbacks. Generous landscape planting and a carefully designed threshold to the public domain retain

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	the proposals garden setting including extensive deep soil, while a higher degree of brick detailing and vertical articulation softens the built form and reduces overall bulk and scale.
The building line to any street is to be parallel to the prevailing building line in the streetscape. For angled sites, a stepped façade may be appropriate.	The proposed building line is parallel to the prevailing building line.
Residential flat buildings are to meet the following side and rear setback requirements to ensure deep soil, landscaping and tall trees are accommodated to all sides of the building: - a minimum of 6m from the side boundary for all levels up to the fourth storey. - a minimum of 9m to the fifth storey and above.	Side setbacks comply with nominated controls.
For buildings of 3 storeys or less on sites less than 1800m ² a minimum side setback is 3m if the Building Separation requirements in Part 7A.4 are also met.	The site area is greater than 1800m ² – N/A
Side setback areas behind the building line are not to be used for driveways or for vehicular access into the building.	Side setbacks are used for landscaping only.
Driveways are to be set back a minimum of 6m from the side boundary within the street setback to allow for deep soil planting.	Refer to comment above.
Encroachments Basements do not encroach into any setback areas Ground floor terrace/courtyard walls min 8m to street boundary / 4m to rear & side boundaries / 7m adjacent to lower density residential zone – N/A No encroachments where site area is < 1800m ²	Basements do not encroach upon setbacks noted above. Terrace and landscape walls adhere to setbacks noted aside.
No encroachments are permitted where minimum side setbacks have not been achieved. A maximum of 15% of the street setback area occupied by private terraces/courtyards	<15% of setback is used for a private courtyard fronting Roseville Ave.
Eaves, open pergolas, blades, fins and columns may encroach into the setback areas where they do not increase the apparent bulk of the building or create visual clutter.	Compliant.
7A.4 Building Separation	
The minimum separation between residential buildings on the same development site is to comply with the following controls: Up to 4 th storey:	Only one residential flat building is proposed on the subject site. Setbacks to the northern rear boundary enable future compliant separation distances to be achieved over a future development

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12m between habitable rooms/balconies 9m between habitable rooms/balconies and non-habitable rooms 6m between non-habitable rooms	site of a commensurate scale and form. This avoids any site-isolation / feasibility impacts.
Buildings are to be located so that apartments benefit from views into and through onsite landscaped gardens.	The building has been designed to take advantage of the front and rear landscaped areas.
7A.5 Site Coverage	
The site coverage may be up to a maximum of 30% of the site area, provided that the deep soil landscaping requirements in Section A Part 7A.6 Deep Soil Landscaping are met. Note: Site coverage is not the inverse of deep soil landscaping. Refer to Part 1B Dictionary for clarification of site coverage.	Site area = $2069 \times 30\% = 621\text{m}^2$. Proposed: 923m^2 (44%). DCP clause is not achievable and is overridden by the non discretionary standards set by affordable housing SEPP. The proposal does not comply with this control, however the development includes consistent street and side setbacks to adjoining lots and predominantly uses those setbacks for well designed landscaping. There will be no significant impact on tree canopy in the neighbourhood with any tree required for removal to be replaced as part of works. Deep soil is proposed to the perimeter of the development and therefor between the proposal and adjoining lots / future development sites and the retained heritage item. Additional surface water will be captured and managed through appropriate stormwater systems as per documentation associated with this application. Refer to supporting engineering package of drawings.
7A.6 Deep Soil Landscaping	
A minimum deep soil landscaping area of 40% for a site area less than 1800m^2 and 50% for a site area of 1800m^2 or more. Note: DCP Control succeeded by Affordable Housing SEPP; non discretionary standards (S19(2)c) - deep soil zone to be at least 15% of site area with min dimensions of 3m and 65% located to the rear of the site	(DCP)The site is $>1800\text{m}^2$ therefore 50% is required to be allocated to deep soil. Site area = $2069 \times 50\% = 1034.5\text{m}^2$ Affordable housing provisions under Chapter 2 of the SEPP; Site area = $2069 \times 15\% = 310\text{m}^2$ Proposed: 870m^2 Refer site plan for calculations The design enhances the neighborhoods' garden character with canopy trees and native planting. Deep soil zones are well-sized, consolidated with adjoining lots, and integrated into the site layout. Landscaping suits the scale and context of the development and contains a mix of active and passive uses.

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	Native vegetation is retained where possible to support biodiversity with existing tall trees retained at street frontages, for visual and environmental benefit. Deep soil is located in common areas for shared use and spaces between buildings allow for trees that reinforce the garden character / support rainwater infiltration reducing runoff.
Deep soil zones are to be configured to retain healthy and significant trees on the site and adjoining sites, where possible.	As above, significant trees are retained.
Deep soil zones are to be configured to allow for required tree planting including tall tree planting and garden and screen planting at front, side and rear boundaries.	As above, deep soil zones permanently adjoining boundaries.
Deep soil landscaping is to be provided in the common areas as a buffer between buildings that softens the bulk and scale of the buildings.	As above, common areas form part of deep soil zones.
Driveways are not to dominate the street setback area. Deep soil landscaping areas in the street setback are to be maximised.	Driveway frontage is minimized as part of the development.
Lots with the following sizes are to support a minimum number of tall trees capable of attaining a mature height of at least 18m on shale, transitional soils and 15m on sandstone derived soils. 1200m² or less – 1 tall tree per 400m² or part thereof 1201m² – 1800m² – 1 tall tree per 350m² or part thereof 1801m² + - 1 tall tree per 300m² or part thereof	Referred to landscape documentation for extent of new tree planting. Compliance achieved.
In addition to the tall trees, a range of medium trees, small trees and shrubs are to be selected to ensure that vegetation softens the building form and creates a garden setting. At least 50% of all tree plantings are to be locally occurring trees and spread around the site.	Referred to landscape documentation for extent of new tree planting. At least 50% of new tree plantings will be locally sourced / occurring.
Trees are to be planted within all setback areas. At least 30% of the required number of tall trees are to be planted within the front setback.	Tree plantings provided within all setback areas of the site. At least 30% of tall trees will be provided within the front setback to Roseville Avenue with further plantings along the Trafalgar Avenue frontage.
7B – Access and Parking	
7B.1 – Car Parking provision	
All residential flat developments are to provide on-site car parking within basements.	Parking is proposed within a basement level and a sub-floor element of the lower ground level toward the rear – deemed acceptable outcome as no impact on the streetscape.
Basement car park areas are to be consolidated under building footprints.	The basement carpark is predominantly consolidated under the building footprint. Where the basement is not positioned under the building, footprint landscaping is proposed above to soften its visual impact.

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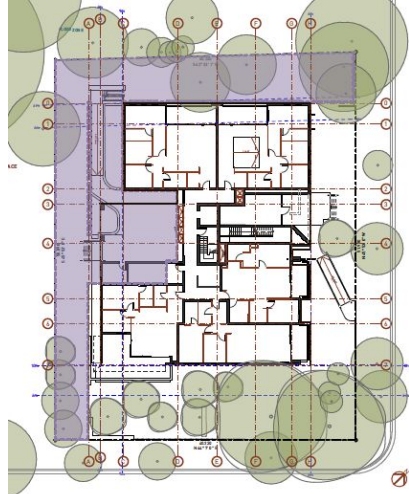


The basement car park is not to project more than 1.0m above existing ground level. Note: Basements greater than 1m above the natural existing ground level are counted as a storey for the purposes of the DCP and will be included in the floor space ratio calculation as well as any control based on the number of storeys.	The basement is expected to protrude more than 1 m above the existing ground level towards the rear. This is due predominantly to constraints to the floor levels of each basement / sub floor level and associated ramping required before entering the basement to prevent ingress of adjoining overland flow flooding. However, considered against the objectives of this DCP clause the basement car park design is considered to be an acceptable outcome in a constrained circumstance. The basement car park is not considered to detract from the landscape character of the neighborhood as it's extent / height enables a greater density of native planting to street setbacks, it's extent enables the provision of car parking suitable to the development type, reducing demand on all street parking and its design insures suitable clearance for service vehicles while minimizing visual impact of vehicular infrastructure on the streetscape.						
Single lane aisles, straight ramps and tunnels max 12.0m in length.	Single lane aisles and ramps are required for the development and their provision enables reduced garage door openings facing the street. A traffic engineering report accompanies this application and supports the design proposed as it still enables the safe maneuverability of service, resident and visitor vehicle movements.						
Direct and continuous internal pedestrian access from basement car park is provided to each level of the building	A central lift provides access from the basement to all levels above.						
Car park entry is to be integrated within the building and located behind the building line.	The car park entry is located behind the building and integrates within the building.						
Car parking design is to be in accordance with requirements for Silver and Platinum Level dwellings as required in this DCP and by the <i>Livable Housing Guidelines</i>. Circulation areas, roadways and ramps are to comply with AS2890.1. Where a conflict occurs, the <i>Livable Housing Guidelines 2012</i> is to take precedence.	refer to plans and note LHA guidelines provide other options.						
Car parking rates for residential flat developments on sites within 800m walking distance of a railway station entry: <table><tr><td>Type</td><td>Minimum</td><td>Maximum</td></tr><tr><td>One bedroom</td><td>0.6 spaces</td><td>1 space</td></tr></table>	Type	Minimum	Maximum	One bedroom	0.6 spaces	1 space	The proposal is consistent with parking rates required under the TOD SEPP and affordable housing SEPP, a traffic report companies this application and summarises provision of parking in accordance with the above SEPP's.
Type	Minimum	Maximum					
One bedroom	0.6 spaces	1 space					

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Two bedrooms	0.9 space	1.25 spaces	
Three or more bedrooms	1.4 space	2 spaces	
Visitors: 1 per 6 units (at least one is accessible).			
14 residential parking spaces and 3 visitor parking spaces (including one accessible space) are required to be provided.			
A clearly signposted parking bay for temporary parking of service and removalist vehicles is to be provided. The space is to have the following standards: i) a minimum dimension of 3.5m x 6m; ii) a minimum maneuvering area 7m wide.			A loading bay measuring 6 metres in length and 3.5 metres in width is provided. The minimum maneuvering area has been provided to the rear of the space and swept paths can be found in the traffic report accompanying this application.
One visitor parking bay is to be provided with a tap, to make provision for on-site car washing.			Car washing / visitor parking has been provided and nominated on architectural plans.
Parking areas are to be designed and constructed so that electric vehicle charging points can be installed.			Provision of cabling and conduit and switchboards will be provided within resident parking areas to enable each space to install charging points in the future.
7B.2 – Bicycle Parking provision			
Provide on-site, secure bicycle parking spaces and storage at the following rates: i) 1 bicycle parking space per 5 units or part thereof for residents within the residential car park area; and ii) 1 bicycle parking space (in the form of a bicycle rail) per 10 units for visitors in the visitor car park area.			Bike racks have been provided on every level adjoining the lift for residents, a bike room is also located on the ground level adjoining common space and a rail has been allowed on the lower ground level for visitor bike parking.
All on-site bicycle parking spaces and storage are to be designed to AS2890.3.			Capable of complying – subject to standard conditions.
7C Building Design and Sustainability			
7C.1 SEPP 65 and Apartment Design Guide Requirements			

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All residential flat buildings are to comply with the objectives, Design Criteria and Design Guidance of the following <i>Apartment Design Guide</i> sections: 3F Visual Privacy 4A Solar and Daylight Access 4B Natural Ventilation 4C Ceiling Heights 4D Apartment Size and Layout 4E Private Open Space and Balconies 4F Common Circulation and Spaces 4G Storage	Refer to ADG compliance table in design report accompanying this application.
7C.2 Communal Open Space	
At least 10% of the site area must be provided as communal open space (COS). Each parcel of communal open space is to have a minimum dimension of 5m.	Development complies with the greater control set by the ADG, refer design report for information. COS area exceeds 20% of total site area and incorporates minimum 8m dimension throughout. 
At least one single parcel of Primary communal open space with a minimum area of 80m² and a minimum dimension of 8m is to be provided.	One single parcel of COS is provided which exceeds 80m² in area and has a minimum dimension of 8 metres.
The Primary communal open space is to be directly accessible from the internal common circulation areas.	The primary COS is accessible via the level 0 (lower ground) foyer.

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The Primary communal open space is to be located at or above finished ground level behind the building line. Roof top Primary communal open space may be provided where the ground level cannot meet performance requirements or is undesirable.	The primary COS is located at the rear of the building above ground level. This ensures a secure and private space for enjoyment by residents, set amongst a quality landscaped garden setting.
Access to and within the Primary communal open space is to be provided for people with a disability Part 2 Section 7 of AS1428.	Access to COS is on grade from the L0 lift foyer and is therefore accessible. Secondary COS is accessible from the street.
The location and design of the Primary communal open space is to optimise opportunities for active and passive social and recreation activities, solar access and orientation, summer shade, outlook, and maintain the privacy of residents on adjoining sites zoned differently for lower density residential development sites.	Primary COS is positioned on L0 off the foyer, separated by a large window and glazed door, providing ample opportunity for passive social interaction, other secondary areas of COS are positioned in side and rear setbacks enabling a range of active and passive engagements with varying degrees of solar access and shade. Refer to design report for more information.
At least 50% of the area of the Primary communal open space and any Secondary communal open space are to receive direct sunlight for at least two hours between 9am and 3pm on 21st June.	At least 50% of the COS receive at least 2 of hours sunlight on 21st June. Refer to design report and architectural drawings for more information.
Communal open space is to be integrated with any significant natural feature(s) of the site and soft landscaping areas.	COS has been incorporated into the landscape design.
The communal open space is to have surveillance from at least two onsite apartments for safety reasons.	More than two apartments overlook both the primary and secondary COS.
Communal open space design is to avoid creation of concealment or entrapment areas. Note: Communal open space is to be well lit with an energy efficient lighting system to be used in conjunction with timers or daylight controls. All light spill is prohibited.	No entrapment areas are included in the design of the COS. All COS spaces are relatively open in their layout with excellent lines of sight achieved across the space.
Shared facilities such as barbecue facilities, shade structures, play equipment and seating, are to be provided within the Primary communal open space. Note: Selected items within communal open spaces are to be appropriate to the space and demonstrate consideration of the amenity of nearby apartments.	The primary COS includes a covered area with a BBQ, outdoor cooking facilities, large table, seating etc. Play equipment is positioned in secondary COS areas adjoining the street.

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Garden maintenance storage areas, drainage and connections to water taps are to be provided with the Primary communal open space. Secondary communal open spaces are to have adequate connections to water for maintenance purposes.	Taps will be provided to all garden and COS areas for maintenance purposes, garden maintenance equipment storage is positioned under the ramp on the lower basement level.
7C.3 Ground Floor Apartments	
Ground floor apartments are to be separated from noise sources such as common areas, communal open space and the public domain.	Apartments adjoining primary COS on the ground level will not have any windows or doors directly facing common areas, where apertures are required near COS they are separated by garden beds and will be appropriately treated for acoustic attenuation.
A gate is to be provided from each ground floor apartment private open space into common areas where practical.	Ground level apartments, given their elevation above existing levels, don't have direct access to common space and therefore don't require a gate.
No subterranean rooms to any part of any apartment	No subterranean rooms are proposed.
No ground floor apartments created as a result of excessive excavation.	Excessive excavation is not proposed as part of the development.
No part of any wall used to accommodate any residential apartment uses, including storage areas outside the apartment, is to be in direct contact with soil or rely on any form of tanking including spaces that act as tanking. Note: Tanking is only acceptable to basement parking levels.	No apartments are in direct contact with soil or rely on any form of tanking.
Tanking may only be provided to basement parking levels. Where basement storage is located adjacent to external walls, they are to be separated from the tanked wall by an accessible maintenance passage.	Storage areas will be separated from the outer basement wall.
The internal finished floor level of any part of a ground floor apartment and/or private open space is not to be more than 0.9m below existing ground level at the building line.	No part of the ground floor apartment is located below ground level.
7C.4 Apartment Mix and Accessibility	
Range of apartment sizes (one, two, three bedroom) included within the development	A range of one, two and three bedrooms is proposed.
Mix of 1, 2 & 3 bedroom apartments located on the ground level.	A range of two and three bedrooms is proposed to the upper ground level.
All apartments are to be designed to Silver Level under the Livable Housing Design Guidelines	All apartments are designed to Silver Level.

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At least 15% of the dwellings (or part thereof) are to be designed to Platinum Level under the Livable Housing Design Guidelines.	The proposal can comply subject to conditions.
At least 70% of all dwellings are visitable.	All dwellings will be visitable.
7C.5 Building Entries	
The residential flat building entry is to be clearly expressed using appropriate architectural elements.	The building entry is expressed through unique brick portal, refer architectural plans for info.
Buildings are to address the street by providing visible entry points with the following: i) main building entrances that are level and directly accessible from the street; or, ii) where site configuration is conducive to having a side entry, the path to the building entrance is readily visible from the street, and the building entrance is signaled with appropriate architectural elements.	The main building directly faces the street, it has been raised up slightly to mitigate overland flow issues and create a stoop, an accessible path of travel is via the ramp to the side of the steps.
Entry foyers are to be no more than 1m above ground level. Any ramped access required is to be integrated into the design of the building or landscape. Mechanical chairlifts and the like will not be accepted.	The entry foyer is no more than 1m above ground level and includes ramped access as noted above. Ramping is integrated into the landscape design.
Buildings are to have a clearly visible building entry for each vertical circulation core with clear way-finding signs integrated into the external circulation pathway system.	Only one lift core is proposed and is accessed via, and visible from the main entry.
The building entry is to be legible and integrated with horizontal and vertical building facade architectural elements. At street level, the entry is to be articulated with awnings, porticos, recesses or projecting bays for clear identification.	The building entry is expressed through a brick portal with the glass line pushed back into the building line, creating a covered area before the door. The entry is clearly identifiable from the street.
All entry areas are to be well lit and designed to avoid any concealment or entrapment areas and avoid dog leg entry foyers. All light spill is prohibited.	The lobbies are well designed to prevent concealment and entrapment. Light spill will be minimized as much as practical.
Lifts are to be directly visible from the building entry doorway.	The lift is directly visible from the building entry.
Lockable mailboxes are to be: provided close to the street; and be at 90 degrees to the street and to Australia Post standards; and integrated with front fences or building entries.	Letterboxes are within the entry foyer at 90 degrees to the street.

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Building entry paths are to be minimum 1.2m wide and located within the common area with a minimum dimension of 1.2m on either side for landscape planting. Paths are to provide extra width at building entries to allow easy passing between pedestrians and to allow effective turning.	The building entry pathway is 3.3m wide and the access ramp aside is 1.7m wide.
All common circulation corridors are to be at least 1.5m wide, and the area outside lifts is to be at least 1.8m wide.	Common circulation corridors are 1.7m wide and doorways will comply with as1428.1
7C.6 Building Form and Facades	
All building facades at ground level are to be designed to avoid the creation of entrapment areas.	There are no entrapment areas at ground level.
No single wall plane is to exceed 81m ² in area.	No single section of wall exceeds 81m ² in area without being broken by windows or other facade treatment / detailing.
The following are to be avoided on all building elevations: i) large flat walls; ii) undifferentiated window openings; iii) applied treatments; iv) one single predominant finish or material.	All facades include breaks in wall planes, a variety of materials and finishes and different window types have been incorporated into the design.
All facades are to place entries, habitable room windows, and balconies so that they maximise outlook and passive surveillance of the street and to common areas surrounding the building.	Apartments are orientated to the street and to the rear overlooking the primary and secondary COS.
All building elements including shading devices, signage, drainage pipes awnings/colonnades and communication devices are to be coordinated and integrated into the overall facade design.	All building elements are sufficiently integrated within the overall design of the facades. Detailed internal service and stormwater designs inform the architectural approach presented in this DA, avoiding the need for further modifications.
Air conditioning condensers are to be located within the basement or within the roof structure of the upper most roof. Air conditioning condensers are not to be located on: i) the building façade; ii) the top of a flat roof; iii) terraces; iv) private or communal open spaces; or v) balconies.	Air conditioning condensers are to be located within the basement.
Telecommunication structures are to be located within roof structures or basements and not be visible from any road or public domain area.	Telecommunication structures if required will not be visible from the public domain.

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Screening between adjacent apartments is to be integrated into the overall building design.	Screening between adjacent apartments is sufficiently integrated into the overall building design. Limited screening applied between balconies due to the strategic positioning of POS at the corners of the buildings and within façade wall recesses.
Facade elements that result in poor architectural design outcomes for internal spaces, such as snorkel windows, are not permitted.	No snorkel windows are proposed. All apartment layouts comply with the ADG.
All facades are to be designed to minimise on-going maintenance and weathering through measures such as: i) selecting appropriate robust materials/finishes; and ii) including appropriate building edge, balcony edge, sill, head and parapet detailing that demonstrates protection from prevailing weather and harsh solar aspects.	Materials and finishes selected are suitable for use in residential flat buildings and require minimal ongoing maintenance. Thermal modeling was completed as part of the design process and enables the proposal to comply with BASIX standards.
All building facades are to be articulated with wall planes varying in depth by not less than 0.6m, and supplemented with architectural elements.	All facades include wall planes of varying depth providing adequate articulation. Further, wall recessions are utilized to provide visual interest and break-up as part of architectural treatments.
Facade articulation is to be well composed with attractive proportions and coherent rhythms and integrated into the building form and structure.	The proposed facades comprise a variety of wall depths, material types and finishes, window/balcony openings and screening integrated within the design.
Blade walls are not to be the sole element used to provide articulation.	A variety of design methods are included to achieve articulation. Refer to previous commentary above.
All developments are to utilise shading/glare control devices to articulate the facade and contribute to the streetscape.	Sufficient shading measures are proposed.
The continuous length of a single building on any elevation is not to exceed 36m.	No unbroken elevation exceeds 36 metres in length.
Balcony or terrace design may incorporate building elements such as pergolas, sun screens, shutters, operable walls and the like to respond to the street context, building orientation and residential amenity.	Shading devices required by BASIX will not enable the enclosure of balcony spaces.
The use of such building elements are not to enable the balcony or terrace to be used as a habitable room.	No architectural elements of the building result in closure of spaces creating habitable floor areas – N/A
Balconies that run the full length of the building facade are not permitted.	The proposed balconies do not run the full length of the façade.
Continuous transparent or translucent balustrades are not permitted to balconies or terraces.	Continuous transparent or translucent balustrades are not proposed.

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Balconies are not to project more than 1.5m from the outermost wall of the building facade.		The balconies do not protrude more than 1.5 metres from the building façade.
7C.7 Building Storeys		
Sites with the following maximum building heights under the KLEP 2015 are to have a maximum number of storeys above the basement as in the table below:		Maximum building height as calculated above is >23.5m and the proposal only includes 7 levels above the basement.
Maximum building height	Maximum number of storeys	
11.5m	3	
14.5m	4	
17.5m	5	
20.5	6	
23.5m	7	
Note: The 1 st storey is measured from a maximum 1m above the existing ground level. Also see figure 7C.7-1 in the DCP.		
7C.8 TOP STOREY DESIGN AND ROOF FORMS		
The top storey of a building is to be designed so that: i) the GFA of the top storey of a residential flat building does not exceed 60% of the GFA of the storey immediately below it; and ii) for the purposes of this section, the top storey applies to the building as a whole and does not apply to the top level of each part of a stepped building.		Top levels are distinguished from lower levels as part of the proposal's overall form and massing design, given the scale of the building it is more appropriate for the upper 2, 3 or 4 levels to be expressed as a separate element (depending on position in the form) to lower parts of the building.
The top storey of a building is to be set back a minimum of 2.4m from the outer face of the floors below on all sides (roof projection is allowed beyond the outer face of the top storey).		As noted above the top level is not expressed as a separate element but more so groups of upper levels are expressed as a unique element atop the lower building. This is predominantly driven by the buildings scale, required AGS setbacks and contribute to the overall design and environmental performance (shading) of the proposal as well as differentiate the visual appearance of top parts from lower portions.
The upper storeys of residential buildings are to be articulated with differentiated roof forms, maisonettes or mezzanine penthouses and the like.		Refer above commentary for how upper levels are differentiated through visual expression in the facades.

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Service elements are to be integrated into the overall design of the roof and not be visible from the public domain or any surrounding development. These elements include lift overruns, plant equipment, air conditioning units, chimneys, vent stacks, water storage, communication devices and signage.	The lift over runs and other plant equipment has been successfully integrated into the roof design such that they do not visually protrude above the main parapet / roof ridge.
Roof design is to respond to solar access and prevailing weather with the use of eaves, skillion roofs, awnings and the like with a minimum overhang of 0.6m	While the proposed building has a flat roof with no overhang, appropriate for the scale and adjoining context.
Where solar panels are provided they are to be integrated into the roof line or elevation.	Solar panels are proposed to be integrated into the roof line.
Lightweight pergolas, sun screens, privacy screens and planters are permitted on the roof or podium, provided they are integrated with the building and facade design and do not increase the bulk of the building, create visual clutter or impact on significant views from adjoining properties.	No such rooftop structures are proposed.
7C.9 LAUNDRY AND AIR CLOTHES DRYING FACILITIES	
Each apartment is required to have access to an external air clothes drying area, such as a screened balcony, a terrace or clothes lines within the common area.	Fold down clothes lines will be provided for each balcony where they can be hidden from public view.
All external air clothes drying areas are to be screened and not be visible from any public domain area.	The clothesline will not be visible from the public domain when folded down.
Storage volume calculation within laundries is to exclude the space required to accommodate a washing tub, washing machine and dryer.	Storage volume calculation excludes these items.
Where clothes drying is provided within private open space within a communal open space, its area is to be additional to that required for the private open space or communal open space.	No clothes lines in COS areas.
7C.10 FENCING	

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Front boundary fences and walls (to a public street) and side boundary fences within the street setback are not to be higher than: i) 0.9m if of closed construction (such as masonry, lapped and capped timber or brushwood fences); or ii) 1.2m if of open construction (such as open paling and picket fences).	A new front fence is proposed. The fence is a maximum of 1.2 meters in height and consists of aluminum open style pickets.
Fences and walls are to step down and follow the natural contours of the site.	The front fence steps down to follow the natural street frontage levels.
Hedges and shrub planting are preferred to the street frontage, but no higher than 1.2m along the entire front boundary, or 1.8m on a site fronting a busy road.	Hedges and shrub planting generally no higher than 1.2 metres are proposed along the street frontage.
All fencing is to be designed to highlight entrances and be compatible with buildings and letterbox areas.	The front fence highlights the front building entry and letterbox area. The design of the fence is compatible with the building.
External finishes for fencing are to be robust and graffiti resistant.	Proposed materials are to be robust and coated in graffiti-resistant paint finishes.
Ground floor private open space, courtyard and terrace wall and fence heights are not to exceed i) 1.2m to any street frontage ii) 1.8m to any side or rear boundary with a maximum 1.2m high solid component and a minimum 30% transparent component above.	The proposed front ground floor apartment terraces have wall heights less than 1.2 meters in height.
7C.11 ACOUSTIC PRIVACY	
Noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, other mechanical ventilation systems and other plant are to comply with the requirements in Part 23.8 of the DCP.	Condition capable of being imposed requiring all mechanical equipment to comply with the maximum permitted noise levels stipulated in Part 23.8 of the KDCP.

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Ku-ring-gai Development Control

Plan Section B

Part 15 – Land contamination

The site is not mapped as being contaminated and has a history of residential use and, as such, it is unlikely to contain contamination and further investigation is not warranted in this case.

Part 19 – Heritage and Conservation Areas

The subject site does not contain a heritage item and is not within a heritage conservation area. The site does immediately adjoin a heritage listed property at No. 16 Roseville Avenue and is positioned adjacent to other locally significant items on the eastern side of Trafalgar Avenue. Refer to commentary in the supporting heritage assessment report for further information and detailed assessment of potential impacts / mitigations.

Ku-ring-gai Development Control Plan Section C

Part 21 General Site Design

21.1 – Earthworks and slope

Development consider site topography, drainage, soli landscapes, flora, fauna and bushfire hazard by: - Stepping buildings down the site - Locate finished ground level as close to the natural ground level as practicable - Level changes to occur primarily within building footprint - Minimum 0.6 metres width between retaining walls - Maintain existing ground level within 2m from any boundary - Limit slope for embankments to 1:6 (grassed) and 1:3 (soil stabilising vegetation) - No fill and excavation within sensitive environments - Minimise altered groundwater flows - Landscape cut or fill should not be more than 600mm above or below natural ground line.	The proposal has been designed to respond to the topography as much as practical, however the key driver of levels is overland flow heights at the entry to the basement. The base of the building has been designed to mitigate visual bulk and scale as much as possible given these constraints. The existing ground level has been maintained within 2m of each boundary, banks and batters are limited in scope and groundwater flow has been considered in stormwater and landscape designs.
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21.2 – Landscape Design

Appropriate and sensitive site planning and design	Refer landscape architects documentation and previous assessment against landscape provisions in the table above.
Existing appropriate screen planting is retained	

Part 22 - General access and parking

22.1 – Equitable Access

Compliance with DDA demonstrated Entry access ramps located within the site and does not dominate the front façade	The proposed DDA compliant access ramping consists of one single straight path from the street to the front entry and
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Access ways for pedestrians and for vehicles are separated	therefore does not dominate the front setback area and façade. The path is separated from the driveway.
Multi Dwelling Housing, Residential Flat Buildings and Shop Top Housing within Mixed Use developments provide access to, and between, dwellings and parking in accordance with the Livable Housing Guidelines as stipulated in Part 6 Multi Dwelling Housing, Part 7 Residential Flat Buildings and Part 8 Mixed Use Development.	Access is provided via a lift from the basement parking area to the apartments and access to the primary COS is via an accessible path and access direct from the building.
22.2 – General vehicle access	
- Minimise width and number of vehicle access points - Access driveways set back at least 10m from street intersections and 3m from pedestrian entrances - Vehicle and pedestrian access to buildings clearly distinguished and separated - Vehicle crossing width is acceptable for intensity of use proposed - Vehicles must exit in a forward direction - Vehicle entries are integrated into the external façade and are finished in a high quality material - Retaining walls associated with driveways maximum height of 1.2m - No driveways are longer than 30m unless a passing bay is provided	- The proposal includes 1 driveway access point off the secondary frontage (Trafalgar Ave). - The vehicle access is clearly separated from the pedestrian access. - A traffic report accompanies this application and explains required driveway width for proposed intensity and reduced internal circulation widths. - Vehicles can enter and exit the site in a forward direction. - The vehicle entry adequately integrates with the building façade. - No retaining wall associated with the driveway is proposed. - The driveway is not longer than 30m
22.3 – Basement car parking	
Logical and efficient basement design AS2890.1	The basement design is logical and efficient and capable of complying with the provisions under AS2890.1.
Appropriate ceiling floor to ceiling heights and ventilation provided: 2.5m for parking area for people with a disability; 2.6m for residential waste collection and maneuvering area	The basement carpark accommodates relevant controls, compliance is demonstrated in architectural sections and the traffic report accompanying this application.
Unimpeded access to visitor parking and waste recycling rooms	Unimpeded access is provided.
Ventilation grilles and screening devices are integrated into the landscape design	Ventilation grilles will be integrated into the facade as required and hidden from public view, its anticipated parking will be exhausted to the roof rather than facade, a riser has been allowed for in planning to facilitate this.
Vehicles access ways are not in close proximity to doors and windows of habitable rooms	Appropriate acoustic attenuation will be provided to windows adjoining driveway entry.

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Safe and accessible intercom access provided	Provided and to be detailed on CC drawings.
22.4 – Visitor parking	
Visitor parking located behind a security grille with an intercom system to gain entry At least one visitor space is accessible and designed in accordance with AS2890.6	Visitor bike parking has been provided as part of the overall parking provision across the basement and lower ground level in accordance with the minimum requirements set by the Housing SEPP (Chapters 2 and 5).
22.5 – Parking for people with a disability	
Accessible spaces are signposted and have a continuous path of travel to the principal entrance or a lift	No accessible spaces are proposed within the parking area.
22.6 – Pedestrian Movement within Car Parks	
Pathways designed in accordance with AS1428.1	Pedestrian pathways will be designed in accordance with 1428.1
Marked pedestrian pathways have clear sightlines, appropriate lighting, are visible, conveniently located and constructed of non-slip material	Pedestrian pathways have clear sightlines and are conveniently located and capable of being connected to the public footpath network.
22.7 – Bicycle Parking and facilities	
Bicycle parking and storage facilities satisfy AS2890.3	Bicycle parking and storage facilities are Satisfactory and designed in accordance with AS2890.3.
Part 23 – Building Design and Sustainability	
23.1 – Social Impact	
Social Impact Statement required/lodged	The proposal will not result in unreasonable adverse amenity impacts. The proposal has been designed in accordance with CPTED principles. The proposed design meets the needs of people with a disability.
23.3 – Sustainability of Building Materials and 23.4 – Materials and Finishes	
External walls constructed of high quality and durable materials	Refer to materials and finishes layout in architectural drawing pack and design report.
Use of materials and colours creates well- proportioned facades and minimizes visual bulk	The facades contain a variety of materials, colours and finishes to provide visual interest and minimise visual bulk.
23.6 – Building Services	
Services and related structures are appropriately located to minimise streetscape impact	Services are appropriately located.

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Air-conditioning units are well screened and do not create adverse noise impacts	Air-conditioning units are located within the basement and on the roof in a screened plant area.
23.7 – Waste Management	
Efficient, effective and sustainable waste management practices	Internal waste collection is proposed within the basement and is sufficient in size to accommodate recycling, bulk storage and general waste bins.
23.8 – Acoustic Privacy	
Design minimises impact of internal and external noise sources	Design will comply with relevant acoustic standards as required
Noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, or other mechanical ventilation systems and plant either as an individual piece of equipment or in combination shall not be audible within any habitable room in any residential premises before 7am and after 10pm. Outside of these restricted hours noise levels associated with air conditioning, kitchen, bathroom, laundry ventilation, or other mechanical ventilation systems and plant either as an individual piece of equipment or in combination shall not emit a noise level greater than 5dB(A) above the background noise (LA90, 15 min) when measured at the boundary of the nearest potentially affected neighbouring properties. The background (LA90, 15 min) level is to be determined without the source noise present.	Design will comply with relevant acoustic standards as required
23.9 – Visual Privacy	
Visual privacy maintained for occupants and for neighbouring dwellings	Adequate visual privacy will be maintained for the future occupants and neighbouring dwellings. Refer to previous assessment and commentary regarding visual privacy controls.
23.10 – Construction, Demolition and Disposal	
Satisfactory Environmental Site Management Plan	An Environmental Site Management Plan to be conditioned.

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4.4 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality. Suitability of the site for the development

The development proposed reflects the densities, building scale and massing anticipated for infill residential development of this nature in the TOD areas. The design has had due regard to the existing site conditions and surrounding built form and landscape character identified as part of a comprehensive site analysis. The proposal's height and scale provides for an appropriate response to the emerging precinct character (i.e. with incentivised density) and is consistent with the likely future character of the surrounds.

The design solution utilises the modest degree of fall across the site to accommodate a sub-floor and basement level incorporating car parking, services, resident and waste storage areas. The layout and design has resulted in the achievement of a high standard of residential amenity and a good mix of apartments, including 12% allocated to affordable housing. Solar compliance is shown on the DA plan set and achieves compliance with the minimum provision under the ADG for private apartments, POS and COS.

Future residents will benefit from access to large private open spaces in the form of multiple balconies, predominantly facing north or east. The orientation and placement of openings ensures apartments will benefit from excellent natural cross ventilation, solar access and natural climate control.

The proposed façades are articulated with various elements, building materials, layers and modulation. Detailed fenestration is achieved through the use of recessed and corner balconies that effectively reduce the overall appearance of bulk and massing whilst creating a new streetscape aesthetic.

Brickwork was selected so as to integrate the built form with the historical local character, including the neighbouring dwelling to the west of the site at No. 16 Roseville Avenue. A contemporary selection of material's, creates contrasting streetscape texture, and contributes to a positive future character for the area. Equally, the street façades present a strong degree of articulation with balconies addressing the public domain. The development contributes a visually appealing and appropriate fit within its locational context.

The development has been generally sited in place of the established dwelling footprints and central disturbed parts of the site. It is well setback from the respective street frontages, side and rear setbacks such that building separation provision is provided to enable the future redevelopment of neighbouring sites to the north. The proposal will be undertaken in accordance with a comprehensive site environmental management plan and construction methodology which:

- Structurally supports neighbouring properties;
- Controls and limits any disturbance within the site and on neighbouring properties;
- Limits disruption to the general amenity of the residential area through demolition, excavation and construction noise, dust, water quality, air pollution and fumes, vibration and traffic-controlled access into and out of the two streets;
- Avoids potential impacts arising from sedimentation, erosion, siltation and temporary stormwater runoff; and
- Ensures the safety of on-site workers, neighbouring residents and the general public around the frontages of the site.

The works will not impact upon any significant trees or remnant native vegetation. The proposed landscaping will contribute to streetscapes of both frontages and overall improve the natural aesthetic qualities of the street corner setting.

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4.5 Any submissions made in accordance with this act or the regulations

Council is responsible for the referral of the application to relevant Government bodies and to adjoining owners. Any submissions will be reviewed by the applicant and Council during the assessment process, and duly considered.

4.6 The public interest

Given that the relevant issues have been addressed with regard to the public interest as reflected in the relevant planning policies and codes, the development is unlikely to result in any adverse impact to the public interest in the circumstance of the case.

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5.0 CONCLUSION

The proposed development at 18-20 Roseville Avenue, Roseville responds to the specific site characteristics and opportunities presented by the recently ascended planning controls under Chapter 5 of the Housing SEPP. It provides a 12% allocation of floor space to affordable housing and accordingly, seeks to utilise the incentive bonus height and FSR provisions to maximise the building footprint and provide infill densities commensurate with those anticipated under the new TOD planning regime.

The proposal provides more than the required communal open space areas; achieves significantly greater deep soil area than required by SEPP Housing; achieves significantly greater landscaped area than required; provides the minimum 12.64% cumulative allocation of affordable housing; and does not utilise any of the available 30% additional FSR or the potential 30% additional height.

Notwithstanding the building scale, the overall built form, bulk, massing and height is well controlled and offset through the use of articulated facades and well integrated landscape features. It is well articulated from the public domain to the south and eastern street frontages and utilises high-quality materials and finishes.

The proposal has been assessed against the relevant SEPPs, KLEP 2015 and KDCP and found to be generally compliant with a number applicable standards and controls. Suitable analysis and justification is provided where the proposal steps outside numerical controls, particularly those local DCP provisions in conflict or inconsistent with the TOD area standards.

The amenity of neighbouring properties and the surrounding locality is capable of being maintained subject to standard conditions of consent and the implementation of an environmental site management plan and construction methodology to be prepared by the contractor prior to the issue of a Construction Certificate. Other potential impacts pertaining to overshadowing, visual and acoustic privacy, visual fit and streetscape character preservation have been considered in this SEE and supporting materials and are deemed to be acceptable.

Internally, the proposal delivers exceptional amenity with expansive perimeter landscaping and communal open space areas. Apartment layouts are well considered, designed to promote privacy and individual aspects whilst the overall size of apartments exceed industry benchmarks, including those nominated affordable apartments.

The proposal will deliver high quality new infill apartments within an accessible area positioned within a 200m walk of the Roseville railway station and local centre shops and services. Notwithstanding the prevailing R2 zoning and low-rise DCP provisions, the proposal accords with the new State planning framework pertaining to height and FSR, design provisions, landscaping, open space and car parking.

Given the relevant planning policies, codes and requirements of the *EP&A Act 1979* have been duly satisfied, the proposed application is worthy of approval.

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